

PRELIMINARY AND FINAL SITE PLAN

FOR

NORTHSTAR CAPITAL, LLC

PROPOSED MULTI-FAMILY RESIDENTIAL

(POINT VIEW LUXURY APARTMENTS)

BLOCK 113, LOTS 41 & 43; TAX MAP SHEET #5 - LATEST REV. DATED 10/2006

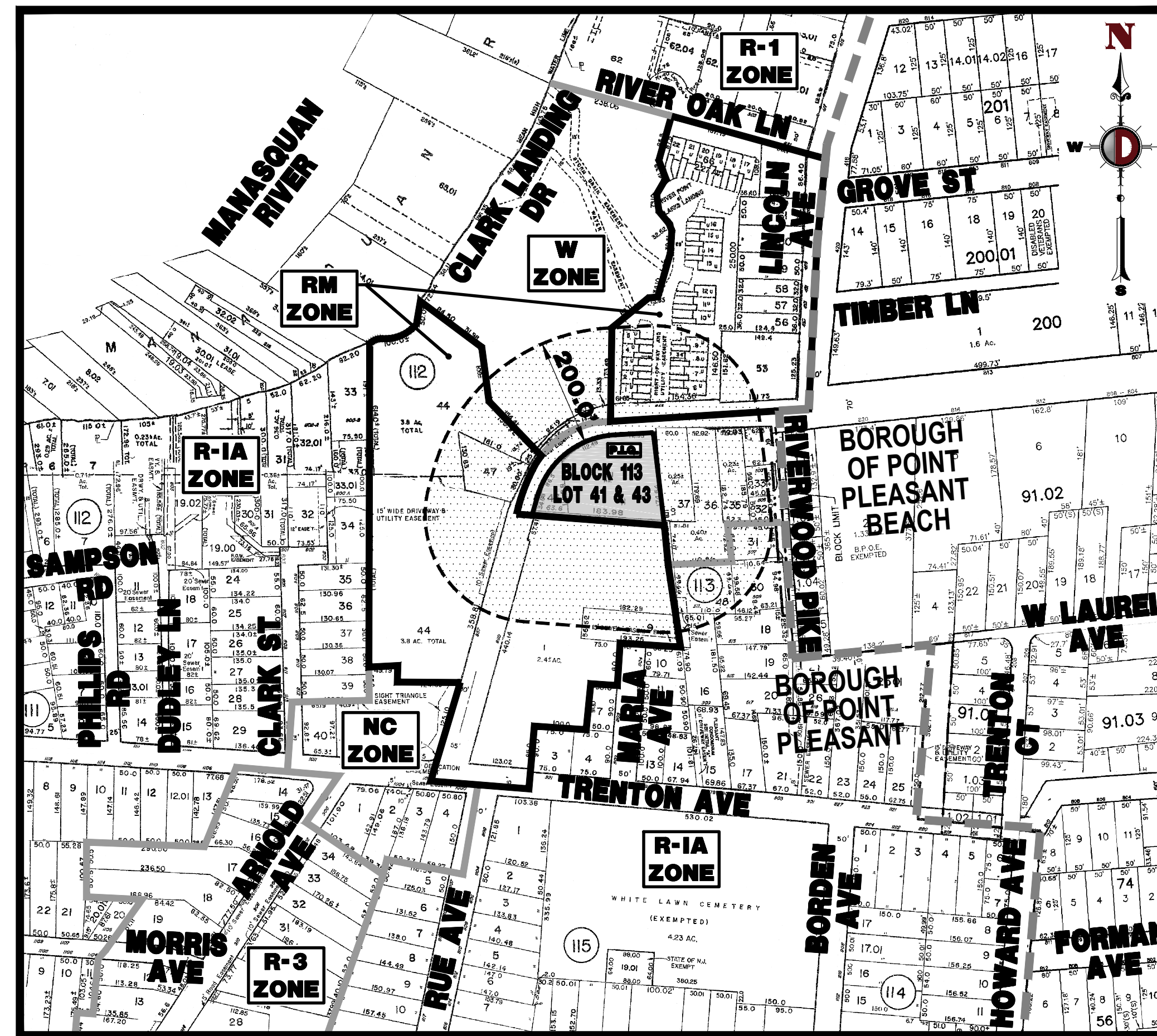
842 & 850 ARNOLD AVE

BOROUGH OF POINT PLEASANT

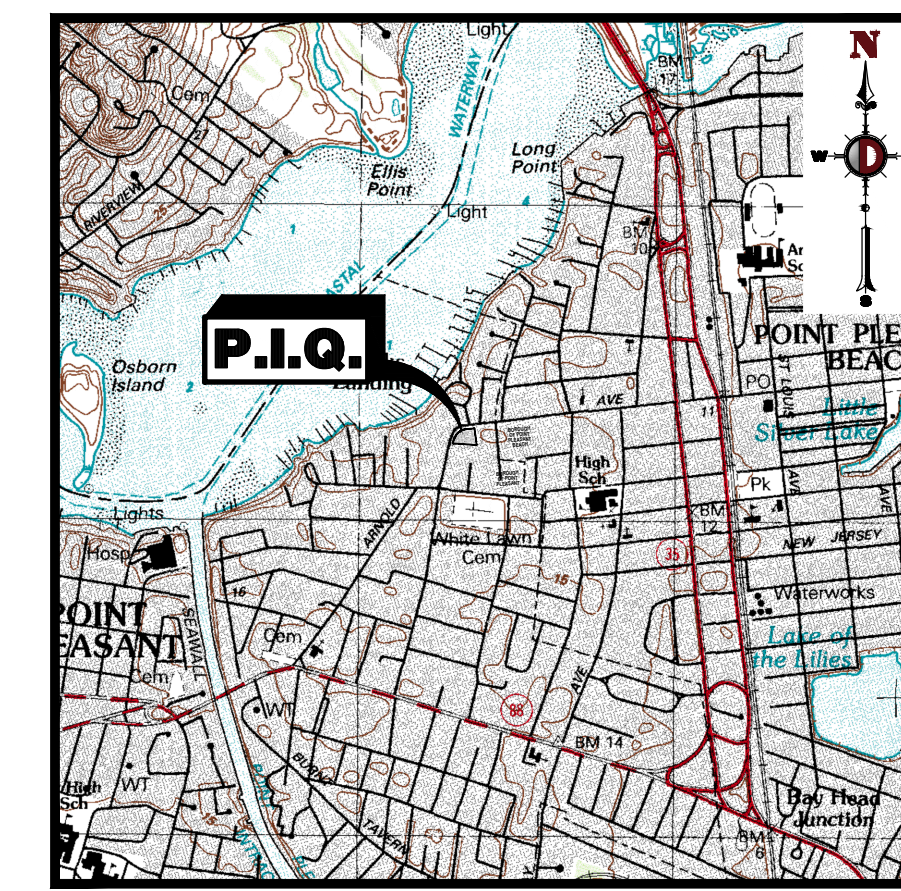
OCEAN COUNTY, NEW JERSEY

200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT
PAGLIA, JOHN C. & C.C. & MAROTTE, C. PO BOX 447 BRELIE, NJ 08730	112	44, 44.01	MORRIS, MARY E 845 ARNOLD AVENUE, UNIT 21 POINT PLEASANT, NJ 08742	112	66.21
MCULLIG PROPERTY LLC 831 ARNOLD AVENUE POINT PLEASANT, NJ 08742	112	53	GAPP, PETER & FERRETTO, LISA 845 ARNOLD AVENUE, UNIT 21 POINT PLEASANT, NJ 08742	112	66.22
CLARK'S LANDING MARINA INC 847 ARNOLD AVENUE POINT PLEASANT, NJ 08742	112	65, 65.01	POINT PLEASANT BOROUGH OF 2233 BRIDGE AVENUE POINT PLEASANT, NJ 08742	113	1.01
RIVER PT AT CLARK'S-JCR MANOAT PO BOX 1 POINT PLEASANT, NJ 08742	112	66	SCHLEGEL, POLY C. & CHRISTOPHER W 909 TRENTON AVENUE POINT PLEASANT, NJ 08742	113	16
845-10 PROPERTIES LLC 847 ARNOLD AVENUE POINT PLEASANT, NJ 08742	112	66.01	BOUGHTON, DENISE PO BOX 243 MANTOLOPING, NJ 08738	113	30
GILMARTIN, PETER & JANE 845 ARNOLD AVENUE, UNIT 2 POINT PLEASANT, NJ 08742	112	66.02	Hudson, Sharon B 507 RIVERWOOD PARK POINT PLEASANT, NJ 08742	113	31
MANGER, HENRY 845 ARNOLD AVENUE, UNIT 3 POINT PLEASANT, NJ 08742	112	66.03	ROSA, ROBERT 509 RIVERWOOD PARK POINT PLEASANT, NJ 08742	113	32
CLARK'S LANDING CATERERS LLC 847 ARNOLD AVENUE POINT PLEASANT, NJ 08742	112	66.04	CONAGHAN, MICHAEL 503 RIVERWOOD PARK POINT PLEASANT, NJ 08742	113	33
SHANMUG, DEBORAH A 2 MURRAY HILL MANOR NEW PROVIDENCE, NJ 07974	112	66.05	FELDMAN, TERRY & COYLE, BRIAN 832 ARNOLD AVENUE POINT PLEASANT, NJ 08742	113	34
NOWER, LIA PO BOX 1903 POINT PLEASANT BEACH, NJ 08742	112	66.06	PIZZA, ADAM T 834 ARNOLD AVENUE POINT PLEASANT, NJ 08742	113	35
845-10 PROPERTIES LLC 847 ARNOLD AVENUE POINT PLEASANT, NJ 08742	112	66.07, 66.10	HAGENBUCH, CHRISTOPHER & LAURA 838 ARNOLD AVENUE POINT PLEASANT, NJ 08742	113	36
TRUESDALE TRUESDALE @ LAKE HOPATCON 847 ARNOLD AVENUE POINT PLEASANT, NJ 08742	112	66.08	ADAMCZYK, ARTHUR 838 ARNOLD AVENUE POINT PLEASANT, NJ 08742	113	37
SETTLE, DAVID W 845 ARNOLD AVENUE, UNIT 9 POINT PLEASANT, NJ 08742	112	66.09	WOLCAN, ROBERT A 602 BURRIS STREET BRICK, NJ 08723	113	41
SCHROEDER, BONNIE BRECKER 845 ARNOLD AVENUE, #11 POINT PLEASANT, NJ 08742	112	66.11	SCHLEGEL, CHRISTOPHER W 517 RIVERWOOD PARK POINT PLEASANT, NJ 08742	113	48
HACKETT, KATHLEEN A TRUST 845 ARNOLD AVENUE, UNIT 12 POINT PLEASANT, NJ 08742	112	66.12	ALSO TO BE NOTICED:		
PT PLEASANT 847 PROPERTIES INC ETAL 847 ARNOLD AVENUE POINT PLEASANT, NJ 08742	112	66.13	OCEAN COUNTY PLANNING BOARD 119 HOPPER AVENUE TOMS RIVER, NJ 08753		
FERRE, SYLVIA 845 ARNOLD AVENUE, UNIT 14 POINT PLEASANT, NJ 08742	112	66.14	JERSEY CENTRAL POWER & LIGHT MAUDSON & PUNCHEDOWN ROAD MORRISTOWN, NJ 07960		
KING, THOMAS J 845 ARNOLD AVENUE, UNIT 15 POINT PLEASANT, NJ 08742	112	66.15	NEW JERSEY NATURAL GAS 1415 WYCKOFF ROAD WALL, NJ 07719		
CAMME, ANTHONY & PATRICIA 845 ARNOLD AVENUE, UNIT 16 POINT PLEASANT, NJ 08742	112	66.16	AT&T 4250 US HIGHWAY 1 MONMOUTH JUNCTION, NJ 08852		
OSBORN, NICHOLAS J 845 ARNOLD AVENUE, #17 POINT PLEASANT, NJ 08742	112	66.17	VERIZON - NEW JERSEY 175 WEST MAIN STREET FREEHOLD, NJ 07728		
VILLANI, JOSEPH R & LINA M 845 ARNOLD AVENUE, UNIT 18 POINT PLEASANT, NJ 08742	112	66.18	COMCAST CABLEVISION 751 BRICK BOULEVARD BRICK, NJ 08723		
MAFFEL, KIMBERLY 845 ARNOLD AVENUE, UNIT 19 POINT PLEASANT, NJ 08742	112	66.19	BOROUGH OF POINT PLEASANT DEPARTMENT OF PUBLIC WORKS 2233 BRIDGE AVENUE POINT PLEASANT, NJ 08742		
HOLTHUSEN, SUSAN C 845 ARNOLD AVENUE, #20 POINT PLEASANT, NJ 08742	112	66.20			



AREA MAP
1" = 200'



KEY MAP
1" = 2000'

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 For: VEPCP PROJECTS\3639 Northstar Capital LCA\99-001 Point Pleasant\DWG\Site Plans\LD363999001SK2.dwg, ---> 01 COVER SHEET

ZONING BOARD OF ADJUSTMENT APPROVAL	
APPROVED AT THE ZONING BOARD OF ADJUSTMENT OF THE BOROUGH OF POINT PLEASANT, OCEAN COUNTY, NEW JERSEY	
CHAIRPERSON	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
 40 MAIN STREET, 3RD FLOOR
 TOMS RIVER, NJ 08753
 WWW.DYNAMICCEC.COM

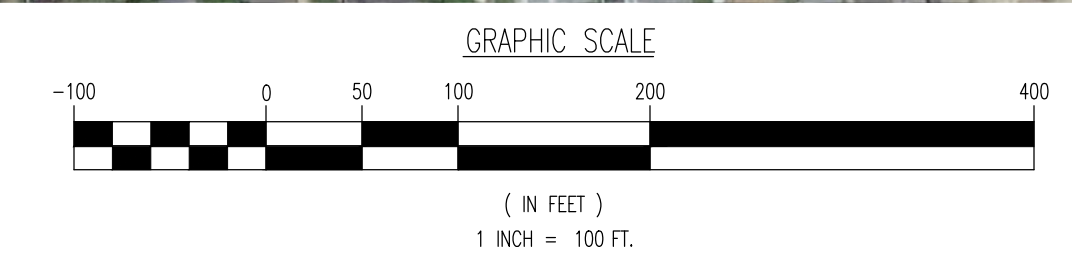
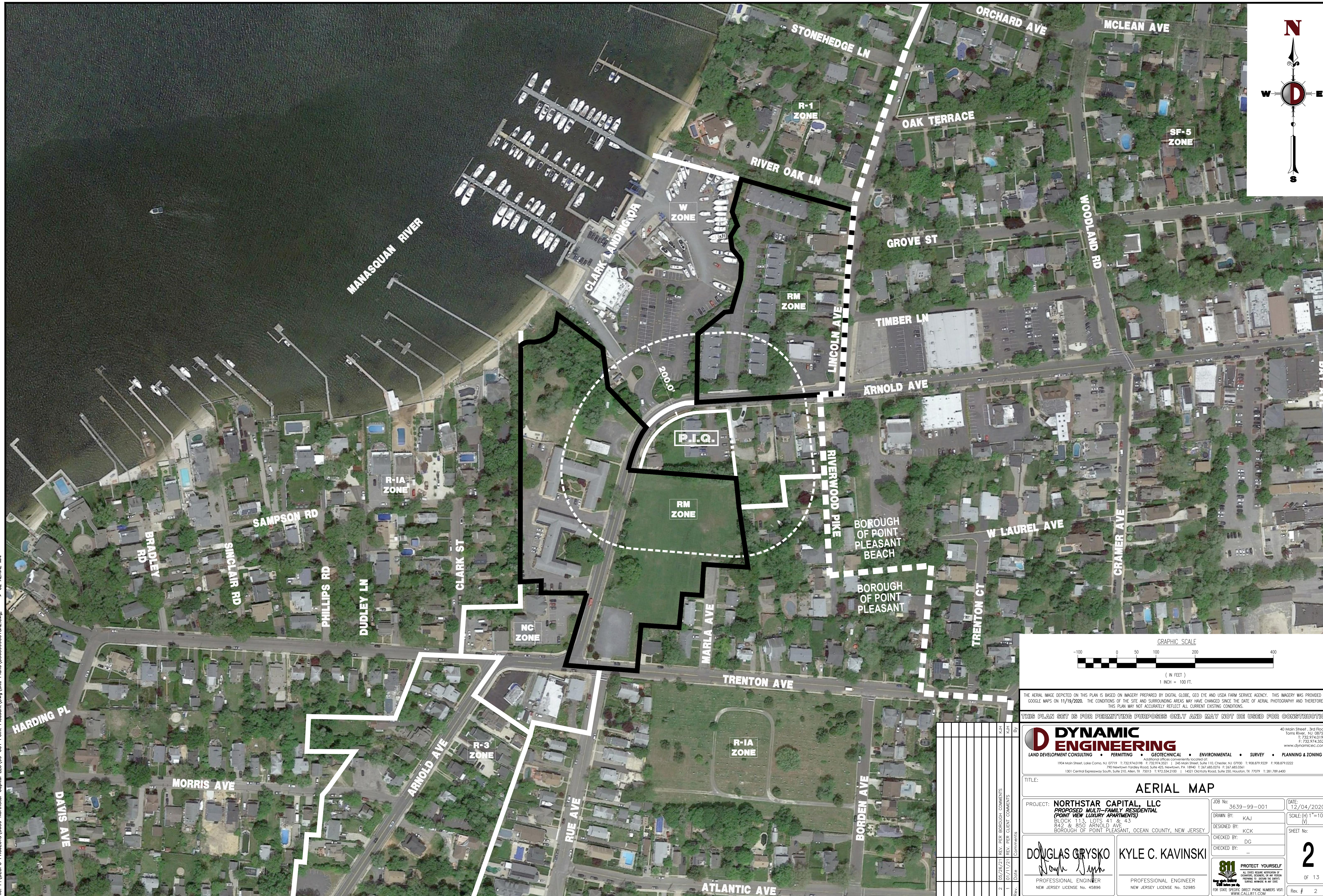
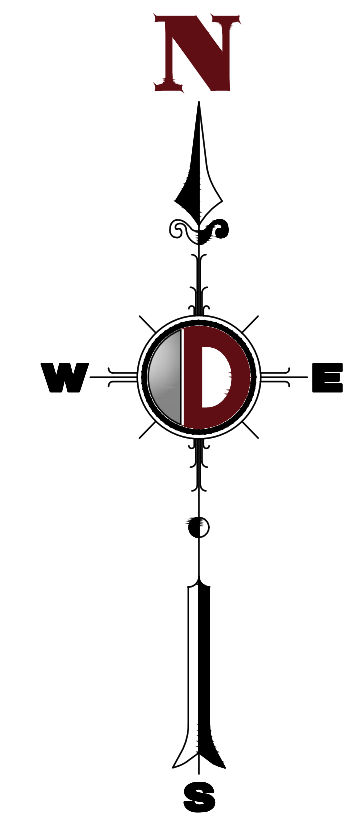
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 190 Newtown Yardley Road, Suite 425, Newtown, PA 18940 T: 267.485.0276 F: 267.485.0261
 1301 Central Expressway South, Suite 210, Allen, TX 75013 T: 972.284.2100 | 1402 Oak Rock Road, Suite 250, Houston, TX 77079 T: 281.789.4400

40 Main Street - 3rd Floor
Toms River, NJ 08753
T: 732.974.0198
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COVER SHEET	
PROJECT: NORTHSTAR CAPITAL, LLC PROPOSED MULTI-FAMILY RESIDENTIAL (POINT VIEW LUXURY APARTMENTS) BLOCK 113, LOTS 41 & 43 842 & 850 ARNOLD AVE BOROUGH OF POINT PLEASANT, OCEAN COUNTY, NEW JERSEY	JOB No: 3639-99-001 DATE: 12/04/2020 DRAWN BY: KAJ SCALE: (H) AS SHOWN DESIGNED BY: KCK CHECKED BY: DG CHECKED BY: -
DOUGLAS GRYSKO <i>Douglas Grysko</i> PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 45896	KYLE C. KAVINSKI PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52985
<p>PROTECT YOURSELF ALL UTILITIES REQUIRE NOTIFICATION OF HOUSING PROVIDERS, OR ANY OTHER PARTY, BEFORE THE DATE'S SERVICE ARRIVES. IN NEW JERSEY FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</p>	
<p>1 OF 13</p> <p>Rev. # 2</p>	



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 11/19/2020. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

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 190 Newtown Yardley Road, Suite 425, Newtown, PA 18940 T: 267.485.0276 F: 267.485.0261
 1301 Central Expressway South, Suite 210, Allen, TX 75013 T: 972.234.2103 | 14021 Oak Grove Road, Suite 200, Houston, TX 77079 T: 281.789.4400
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TITLE: **AERIAL MAP**

PROJECT: **NORTHSTAR CAPITAL, LLC
 PROPOSED MULTI-FAMILY RESIDENTIAL
 (POINT VIEW LUXURY APARTMENTS)
 BLOCK 113, LOTS 41 & 43
 842 & 850 ARNOLD AVE
 BOROUGH OF POINT PLEASANT, OCEAN COUNTY, NEW JERSEY**

JOB No: 3639-99-001 DATE: 12/04/2020
 DRAWN BY: KAJ SCALE: (H) 1"=100'
 DESIGNED BY: KCK (V)
 CHECKED BY: DG SHEET No:
 CHECKED BY: -

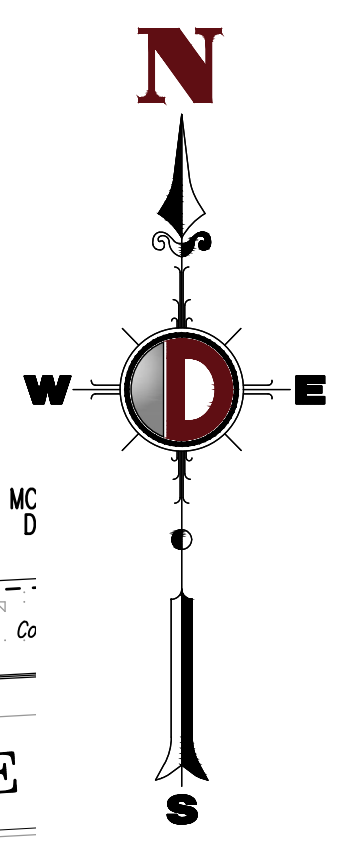
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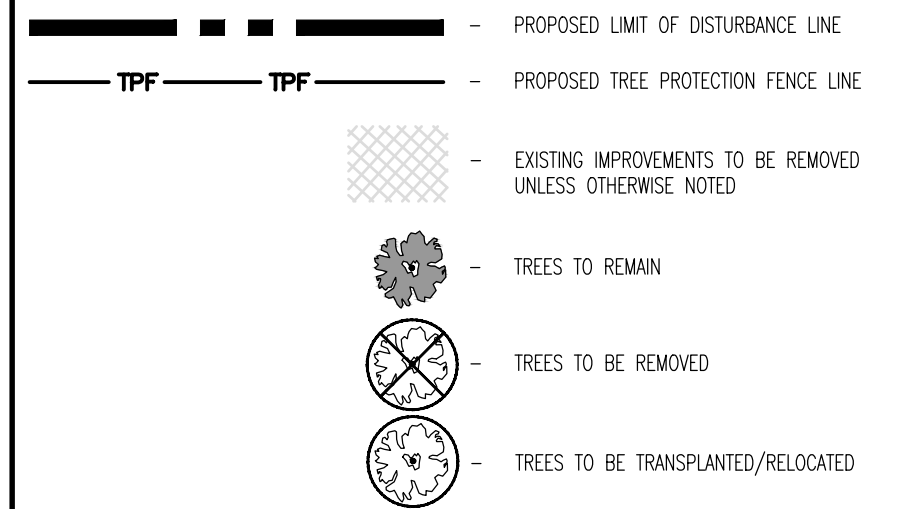
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2 OF 13
 Rev. # 2

Plotted: 06/10/21 - 8:02 AM, By: kheese, Product Ver: 24.0a (LMS Tech)
 File: P:\VECCP PROJECTS\3639 - Northstar Capital LCA\99-001 Point Pleasant\Draw\Site Plans\363999001SA2.dwg, ----> 02 AERIAL MAP



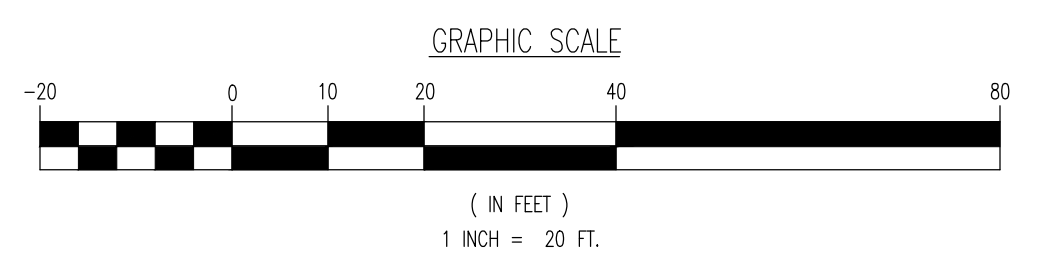
DEMOLITION PLAN LEGEND



DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOISTS, DERRICKS OR OTHER SUITABLE METHODS.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGeways IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAITS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. CONSISTING OF STONE, GRAVEL AND SAND. FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER, STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVE OF RAZORSHARP AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

- NOTES**
1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
 3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
 4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.



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1402 Oak Grove Road, Suite 250, Houston, TX 77079 T: 281.789.4400

TITLE: **DEMOLITION PLAN**

PROJECT: **NORTHSTAR CAPITAL, LLC
PROPOSED MULTI-FAMILY RESIDENTIAL
(POINT VIEW LUXURY APARTMENTS)
BLOCK 113, LOTS 41 & 43
842 & 850 ARNOLD AVE.
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(V)
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CHECKED BY: —

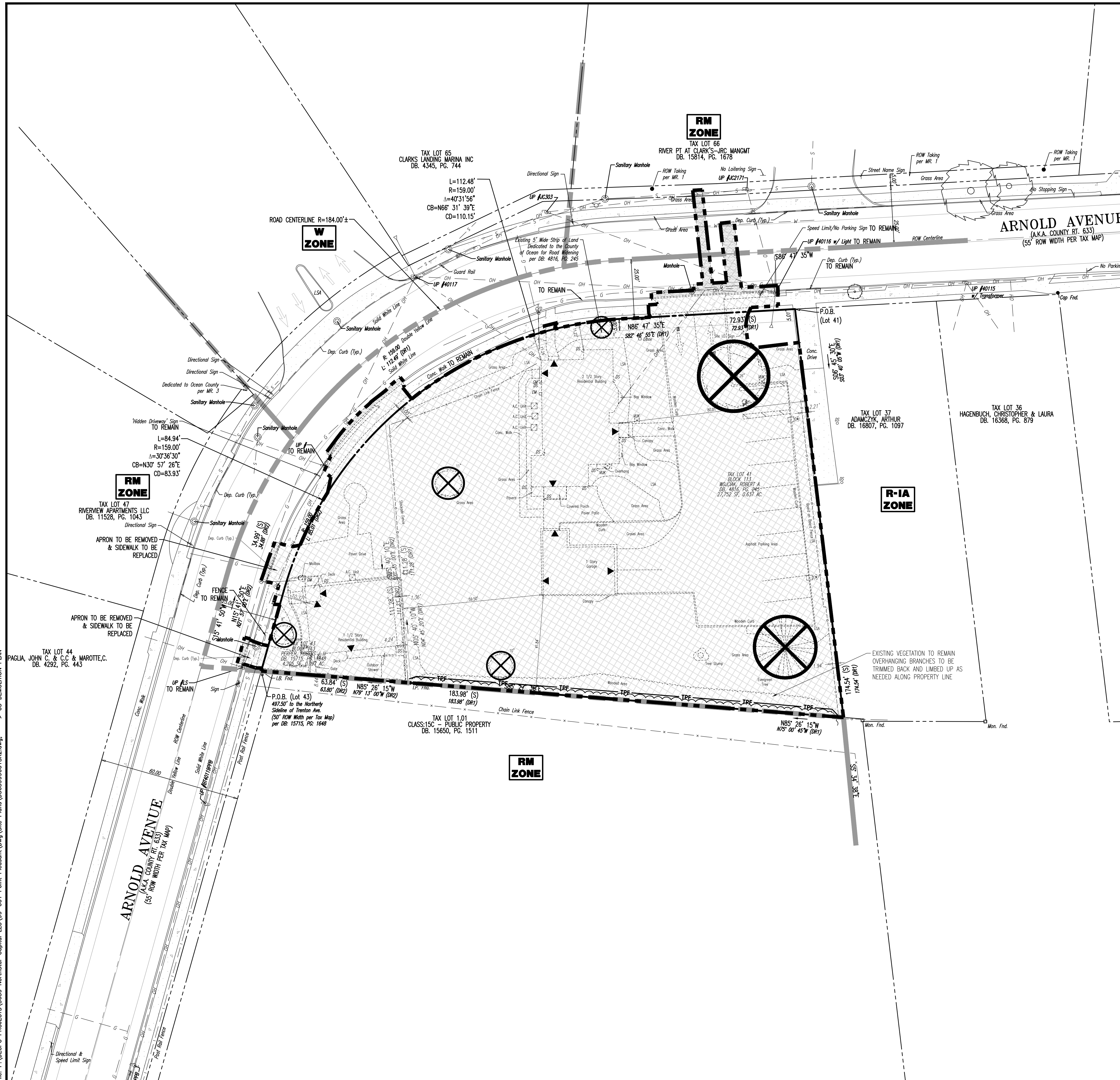
DOUGLAS GRYSKO
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NEW JERSEY LICENSE No. 45896

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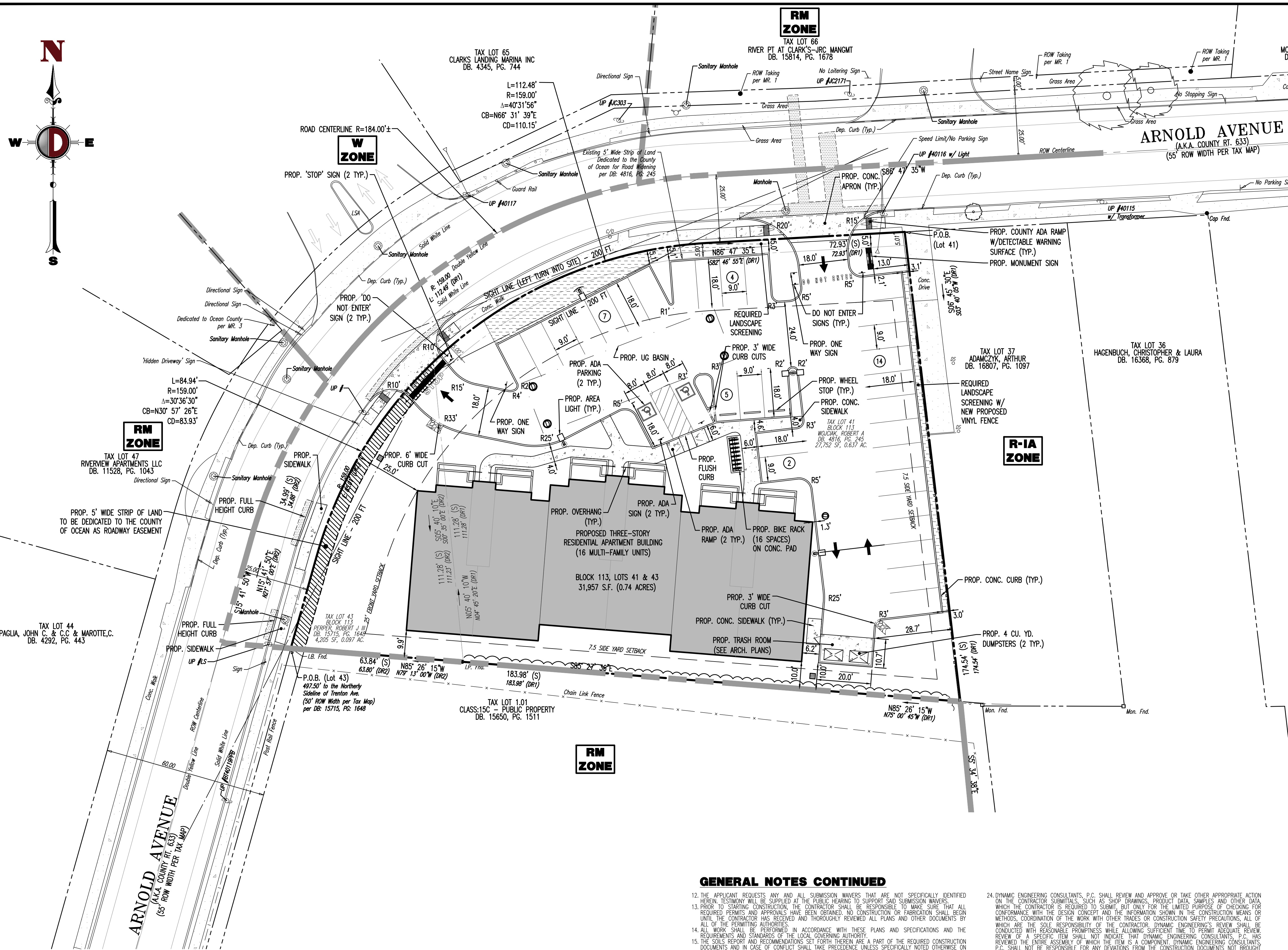
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Rev. # 2

Rev.	Date	Comments	By
1	07/11/21	REV. PER CLIENT COMMENTS	KJH
2	05/26/21	REV. PER BOROUGH COMMENTS	KJH



Product Ver: 24.0a (LMS Tech)
File: P:\BECPC PROJECTS\3639 Northstar Capital LLC\99-001 Point Pleasant\DWG\Site\03 DEMOLITION PLAN.dwg, --- 03 DEMOLITION PLAN



GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
 - BOUNDARY & TOPOGRAPHIC SURVEY
 - INSITE SURVEYING
 - 1055 ROUTE 34, SUITE 1A
 - WALL, NJ 07719
 - JOB FILE NO: 20-5001-285
- APPLICANT:
 - NORTHSTAR CAPITAL, LLC
 - 305 LINCOLN AVE
 - POINT PLEASANT BEACH, NJ 08742
- OWNER LOT 43:
 - ROBERT J. PEPPER
 - 602 BRITS AVE
 - BRICK, NJ 08723
- OWNER LOT 41:
 - ROBERT A. WOJCIAK
 - 602 BRITS AVE
 - BRICK, NJ 08723
- PARCEL DATA:
 - BLOCK 113, LOTS 41 & 43
 - BOROUGH OF POINT PLEASANT
 - OCEAN COUNTY, NEW JERSEY
- ZONE:
 - SINGLE FAMILY (R-1A ZONE)
- EXISTING USE:
 - 1 STORY RESIDENTIAL DWELLING & 2 STORY RESIDENTIAL DWELLING/DENTIST OFFICE (PERMITTED USE) (§ 19-7.1)
- PROPOSED USE:
 - MULTI-FAMILY (NOT PERMITTED-USE VARIANCE) (§ 19-7.1)
- SCHEDULE OF ZONING REQUIREMENTS (§ 19-5)

ZONE REQUIREMENT	R-1A Zone	EXISTING	PROPOSED
MINIMUM/MAXIMUM LOT AREA	5,000 SF / 7,500 SF	31,957 SF (0.74 Ac)	31,957 SF (0.74 Ac)
MINIMUM LOT WIDTH	75 FT	> 150 FT	>150 FT
MINIMUM FRONT YARD SETBACK (ROAD)		10.4 FT	25 FT
MINIMUM REAR YARD SETBACK		N/A	N/A
MINIMUM SIDE YARD SETBACK		25 FT	N/A
MINIMUM SIDE YARD SETBACK (ACCESSORY BUILDING)		8.6 FT	10 FT
MINIMUM BUILDING STORES		2	3 (M)
MAXIMUM BUILDING HEIGHT		N/A	*30'-11" (TO ROOF)
MAXIMUM BUILDING COVERAGE (BY BUILDINGS & CANOPIES)		10.3%	**27.1%
MAXIMUM LOT COVERAGE (IMPERVIOUS)		50%	39.3%
		69.0% (V)	

N/S: NOT STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE (M): WAIVER

* AS MEASURED FROM THE MIDPOINT BETWEEN THE EXTENSION OF THE SIDE LINES OF LOT OF THE CROWN OF THE STREET

** INCLUDES ALL BUILDINGS (PRINCIPLE AND REFUSE) AND BALCONIES
- PARKING REQUIREMENTS
 - A. OFF-STREET PARKING IN ALL ZONES, IN CONNECTION WITH EVERY INDUSTRIAL, BUSINESS, INSTITUTIONAL, RECREATIONAL, RESIDENTIAL AND ANY OTHER USE, THERE SHALL BE PROVIDED AT THE TIME ANY BUILDING OR STRUCTURE IS ERECTED OR IS ENLARGED OR INCREASED IN CAPACITY, OFF-STREET PARKING FOR AUTOMOTIVE AND OTHER VEHICLES IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH HEREIN. SUCH FACILITIES SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. ANY R-5 DWELLING THAT IS NOT NEW CONSTRUCTION SHALL NOT BE REQUIRED TO MEET THE REQUIREMENTS OF SUBSECTION 19-28.5A, 19-28.5C, AND 19-28.5G, (§ 19-28.4.6) (COMPLIES)
 - B. SIZE OF PARKING STALLS, OFF-STREET PARKING SPACES SHALL BE A MINIMUM OF TEN (10') FEET IN WIDTH AND TWENTY (20') FEET IN LENGTH. THESE CONDITIONS SHALL NOT APPLY TO PARALLEL CURB SPACES, WHICH SHALL MEASURE NOT LESS THAN EIGHT (8') FEET IN WIDTH AND TWENTY (20') FEET IN LENGTH, EXCEPT IN THE CASE OF ONE-FAMILY AND TWO-FAMILY DWELLINGS, NO PARKING AREA PROVIDED HEREUNDER SHALL BE ESTABLISHED FOR LESS THAN THREE (3) SPACES. (§ 19-28.4.6) (W-9'x18' PROVIDED)
 - C. LOCATION OF CURB CUTS AT STREET INTERSECTIONS, CURB CUTS SHALL BE SET BACK NO LESS THAN 25 FEET FROM THE INTERSECTION OF THE TWO CURBLINES, OR SUCH LINES EXTENDED, AND SHALL BE SET BACK NOT LESS THAN 10 FEET FROM THE INTERSECTION OF TWO PROPERTY LINES, OR SUCH LINES EXTENDED, EXCEPT IN RESIDENTIAL ZONES WHERE THE MINIMUM DISTANCE BETWEEN THE PROPERTY LINE AND THE EDGE OF THE DRIVEWAY SHALL BE FIVE FEET BETWEEN THE CURB RETURNS FOR ANY TWO DRIVEWAYS SERVING THE SAME PROPERTY, THERE SHALL BE AT LEAST 25 FEET OF CURB, EXCEPT THAT THIS DISTANCE MAY BE REDUCED TO AS LITTLE AS FIVE FEET WHERE IT IS DEMONSTRATED THAT RESTRICTED FRONTAGE MAKES THIS NECESSARY IN ORDER TO PROVIDE ADEQUATE DRIVEWAYS (NOT MORE THAN TWO) FOR THE PROPERTY ON ANY ONE ROADWAY. (§ 19-28.5.3) (COMPLIES)
 - D. SIZE OF ANGLES, THE WIDTH OF ALL ANGLES PROVIDING DIRECT ACCESS TO INDIVIDUAL PARKING STALLS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BELOW. ONLY ONE-WAY TRAFFIC SHALL BE PERMITTED IN ANGLES SERVING PARKING SPACES PLACED AT AN ANGLE OTHER THAN 90°. PARKING AREAS WITH SPACES PLACED AT AN ANGLE OF 90° SHALL HAVE A MINIMUM ASLE WIDTH OF TWENTY-FOUR (24) FEET. (§ 19-28.5.3) (COMPLIES)
 - E. GENERAL LOCATION, NO OFF-STREET PARKING OR LOADING AREA SHALL BE LOCATED IN A MINIMUM REQUIRED FRONT YARD SETBACK AREA OR WITHIN FIVE FEET OF A PROPERTY LINE. (§ 19.28.5.3) (W-3.0' TO PROPERTY LINE)
 - F. LOCATION IN DIFFERENT ZONES, NO ACCESS DRIVE, DRIVEWAY OR OTHER MEANS OF INGRESS OR EGRESS SHALL BE LOCATED IN ANY RESIDENTIAL ZONE TO PROVIDE ACCESS TO USES OTHER THAN THOSE PERMITTED IN SUCH RESIDENTIAL ZONE. (§ 19.28.5.4) (COMPLIES)
 - G. ALL PARKING AREAS SHALL BE EFFECTIVELY SCREENED ON ANY SIDE, WHICH ABUTS OR FACES ANY PREMISES, SITUATED IN ANY RESIDENTIAL ZONE OR EXISTING RESIDENTIAL USE BY A BUFFERING SCREEN AT LEAST SIX (6) FEET IN HEIGHT, MAINTAINED IN GOOD CONDITION, IF REQUIRED BY THE SITE PLAN APPROVED BY THE MUNICIPAL REVIEWING AGENCY, PROVIDED THAT SUCH FENCE, WALL OR HEDGE MAY BE WAIVED BY THE MUNICIPAL REVIEWING AGENCY IF, BECAUSE OF TOPOGRAPHIC OR OTHER EXTRAORDINARY OR EXCEPTIONAL CONDITIONS, THE SAME SHALL NOT BE NECESSARY TO PROTECT ANY RESIDENTIAL OR FACING PREMISES SITUATED IN ANY RESIDENTIAL ZONE OR EXISTING RESIDENTIAL USE. (§ 19.28.5.5) (COMPLIES)
 - H. PARKING CALCULATION:
 - PER NEW JERSEY SITE IMPROVEMENT STANDARDS (RSIS) 5.21A-1 ET SEQ.
 - (16 DWELLING UNITS) * (2 PARKING SPACES/DWELLING UNIT) = 32 SPACES=INCLUDES 2 HANDICAP SPACES (COMPLIES)
- DRIVEWAY REQUIREMENTS
 - A. ALL ENTRANCE AND EXIT DRIVEWAYS SHALL BE LOCATED TO AFFORD MAXIMUM SAFETY TO TRAFFIC, PROVIDE FOR SAFE AND CONVENIENT INGRESS AND EGRESS TO AND FROM THE SITE, AND TO MINIMIZE CONFLICT WITH THE FLOW OF TRAFFIC. (§ 19.28.5.1) (COMPLIES)
 - B. ANY EXIT DRIVEWAY OR DRIVEWAY LANE SHALL BE SO DESIGNED IN PROFILE AND GRADING AND LOCATED IN SUCH A MANNER AS TO PROVIDE A MINIMUM SIGHT DISTANCE MEASURED IN EACH DIRECTION OF ONE HUNDRED FIFTY (150) FEET, THE MAXIMUM ALLOWABLE SPEED IN ANY SUCH DRIVEWAY SHALL BE FIFTY (50) MILES PER HOUR, THE MEASUREMENTS SHALL BE MADE FROM THE DRIVER'S SEAT OF A VEHICLE STANDING ON THAT PORTION OF THE EXIT DRIVEWAY THAT IS IMMEDIATELY OUTSIDE THE EDGE OF THE ROAD RIGHT-OF-WAY. (§ 19.28.5.3) (COMPLIES)
 - C. TWO-WAY OPERATION, DRIVEWAYS USED FOR TWO-WAY OPERATION SHALL INTERSECT THE ROAD AT AN ANGLE TO BE AS NEAR NINETY (90) DEGREES AS SITE CONDITION WILL PERMIT AND IN NO CASE WILL BE LESS THAN SIXTY (60) DEGREES. (§ 19.28.5.1) (N/A)
 - D. ONE-WAY OPERATION, DRIVEWAYS USED BY VEHICLES IN ONE (1) DIRECTION OF TRAVEL (RIGHT TURN ONLY) SHALL NOT FORM AN ANGLE GREATER THAN FORTY-FIVE (45) DEGREES WITH A ROAD, UNLESS ACCELERATION AND DECELERATION LANES ARE PROVIDED. (§ 19.28.5.2) (COMPLIES)
 - E. DRIVEWAY DIMENSIONS, THE DIMENSIONS OF DRIVEWAYS SHALL BE DESIGNED TO ADEQUATELY ACCOMMODATE THE VOLUME AND CHARACTER OF VEHICLES ANTICIPATED TO BE ATTRACTED DAILY TO THE LAND DEVELOPMENT FOR WHICH THIS PLAN IS PREPARED, THE REQUIRED MAXIMUM AND MINIMUM DIMENSIONS FOR DRIVEWAYS ARE INDICATED BELOW, DRIVEWAYS SERVING LARGE VOLUMES OF DAILY TRAFFIC OF OVER FIFTY (50) PERCENT TRUCK TRAFFIC SHALL BE REQUIRED TO UTILIZE HIGH TO MAXIMUM DIMENSIONS. (§ 19.28.5.2) (COMPLIES)
 - F. THE WIDTH OF A TWO-WAY OPERATION DRIVEWAY FOR A RESIDENTIAL BUILDING COMPLEX WITH 10 OR MORE DWELLING UNITS SHALL BE THIRTY (36) TO THIRTY-SIX (36) FEET WIDE. (§ 19.28.5.1) (N/A) (COMPLIES)
 - G. THE WIDTH OF A ONE-WAY OPERATION DRIVEWAY FOR A RESIDENTIAL BUILDING COMPLEX WITH 10 OR MORE DWELLING UNITS SHALL BE SIXTEEN (16) TO TWENTY-SIX (26) FEET WIDE. (§ 19.28.5.2) (COMPLIES)
- LIGHTING REQUIREMENTS
 - A. ALL PROJECT LIGHTING SHALL BE DESIGNED IN ACCORDANCE WITH THE MINIMUM STANDARDS OF SAFETY AND SUGGESTED LIGHTING LEVELS AS SPECIFIED HEREIN AND THE STANDARDS OF THE ILLUMINATING ENGINEERING SOCIETY (IES). (§ 19.28.10.1) (COMPLIES)
 - B. RESIDENTIAL PARKING LOTS - 0.25 FOOT-CANDLES MINIMUM MAINTAINED WITH ESTABLISHED DEPRECIATION FACTOR CALCULATED INTO LIGHTING LEVEL AT A MAXIMUM TO MINIMUM ILLUMINATION RATIO NOT TO EXCEED FIFTY TO ONE (50:1). (§ 19.28.10.4) (COMPLIES)
 - C. ROADWAY LIGHTING (CLASSIFIED AS RESIDENTIAL COLLECTOR) - 0.50 FOOT-CANDLES MINIMUM MAINTAINED WITH ESTABLISHED DEPRECIATION FACTOR CALCULATED INTO LIGHTING LEVEL AT A MAXIMUM TO MINIMUM ILLUMINATION RATIO NOT TO EXCEED FOUR TO ONE (4:1). (§ 19.28.10.3) (N/A)
 - D. ALL LIGHTING FIXTURES ARE TO BE OF AN APPROVED TYPE AND SUPPLIED BY A REPUTABLE MANUFACTURER. (§ 19.28.10.1) (COMPLIES)
 - E. ALL LIGHTING FIXTURES SHALL UTILIZE MAXIMUM SEVENTY-FIVE (75) DEGREE CUTOFF LUMINAIRE TYPE REFLECTOR SO AS TO MINIMIZE GLARE. (§ 19.28.10.2) (N/A)
 - F. ALL LIGHTING SHALL BE AESTHETICALLY COMPATIBLE WITH THE LIGHTING STANDARDS (POLES), CONFIGURATIONS, FIXTURES, AND THE ADJACENT ENVIRONMENT. (§ 19.28.10.4.5) (COMPLIES)
 - G. THE MAXIMUM ALLOWABLE POLE HEIGHT SHALL BE TWENTY (20) FEET, MEASURED FROM THE HIGHEST POINT OF THE POLE AND ADJUTIVE TO FINISHED GRADE. (§ 19.28.10.2) (COMPLIES)

GENERAL NOTES CONTINUED

- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.
- PROVIDING TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSATURATED MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHIELDING AND REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE HOMEOWNERS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RESUMPTION OF EACH PHASE DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C. NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHOD, SEQUENCE, TECHNIQUES OR PROCEDURES, NECESSARY FOR PERFORMING, SUPERVISING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PRECAUTIONS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF COMMERCIAL LIABILITY INSURANCE.
- DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTED SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRECTED ITEMS HAVE NOT BEEN RECEIVED.
- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREIN, WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT HERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
- ALL TRAFFIC SIGNS AND STRIPS SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, DRAPERY ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
- CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GEOTECHNICAL TEST RESULTS AND THE SUBMITTER'S MANAGEMENT REPORT AND THAT THE CONTRACTOR'S RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
- THE MAIN FLOOR SHALL BE FINISHED AND MUST BE COVERED WITH FINISH ARCHITECTURE PLANS. PRIOR TO CONSTRUCTION, THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMPS AND ACCESSIBLE ROUTE MUST COMPLY WITH NAC 5233-7 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY IF ANY DISCREPANCY PRIOR TO CONSTRUCTION.

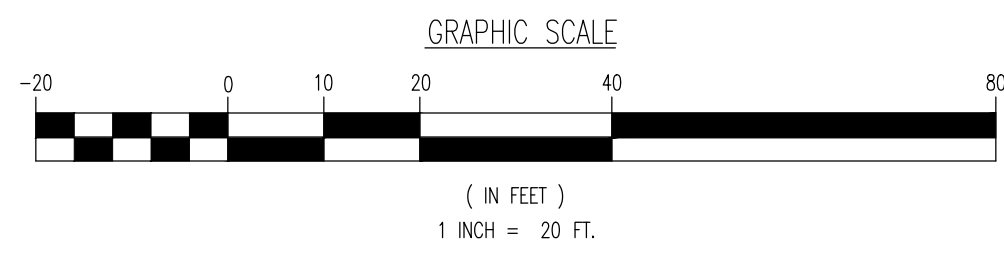
OCEAN COUNTY NOTES

- THE DEVELOPER IS REQUIRED TO OBTAIN A ROAD OPENING PERMIT FROM THE OCEAN COUNTY ENGINEERING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION OF ANY IMPROVEMENTS OR SOIL EROSION CONTROL MEASURES WITHIN THE COUNTY RIGHT-OF-WAY.
- THE DEVELOPER SHALL OBTAIN A LETTER OF FINAL ACCEPTANCE FROM THE OCEAN COUNTY ENGINEER FOR THE COUNTY ROAD IMPROVEMENTS PRIOR TO THE ISSUANCE OF A 100% FROM THE MUNICIPALITY AND RELEASE OF ANY BOND OR OTHER FINANCIAL SURETY POSTED WITH THE MUNICIPALITY FOR THE COMPLETION OF SAID IMPROVEMENT.
- COUNTY ROAD IMPROVEMENTS MUST HAVE BASE PAVEMENT COURSE PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.

SIGN TABLE

SIGN	REQUIREMENTS (R-1A ZONE)		PROPOSED	
	NUMBER OF SIGNS	NONE PERMITTED	NUMBER OF SIGNS	1 (M)
MONUMENT			SIGN AREA:	15.1 SF
		N/A	SIGN HEIGHT:	4 FT
		N/A	SIGN SETBACK:	5.0 FT
		N/A		

N/S: NOT STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE



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40 Main Street - 3rd Floor
Toms River, NJ 08753
T: 732.974.0198
F: 732.974.3521
www.dynamicce.com

SITE PLAN

PROJECT: **NORTHSTAR CAPITAL, LLC**
PROPOSED MULTI-FAMILY RESIDENTIAL (FRONT VIEW LUXURY APARTMENTS)
BLOCK 113, LOTS 41 & 43
842 & 850 ARNOLD AVE.
BOROUGH OF POINT PLEASANT, OCEAN COUNTY, NEW JERSEY

JOB No: 3639-99-001 (DATE: 12/04/2020)
DRAWN BY: KJH (SCALE: (H) 1"=20' (V))
DESIGNED BY: KCK (SHEET No:)
CHECKED BY: DG
CHECKED BY: -

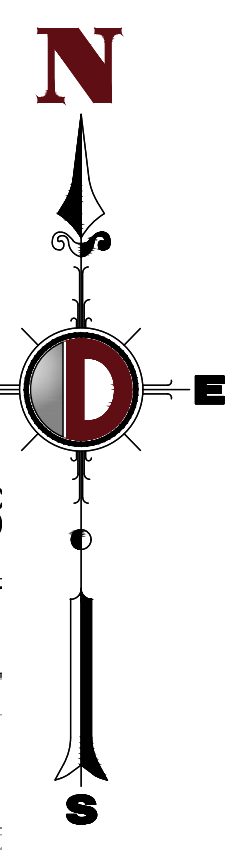
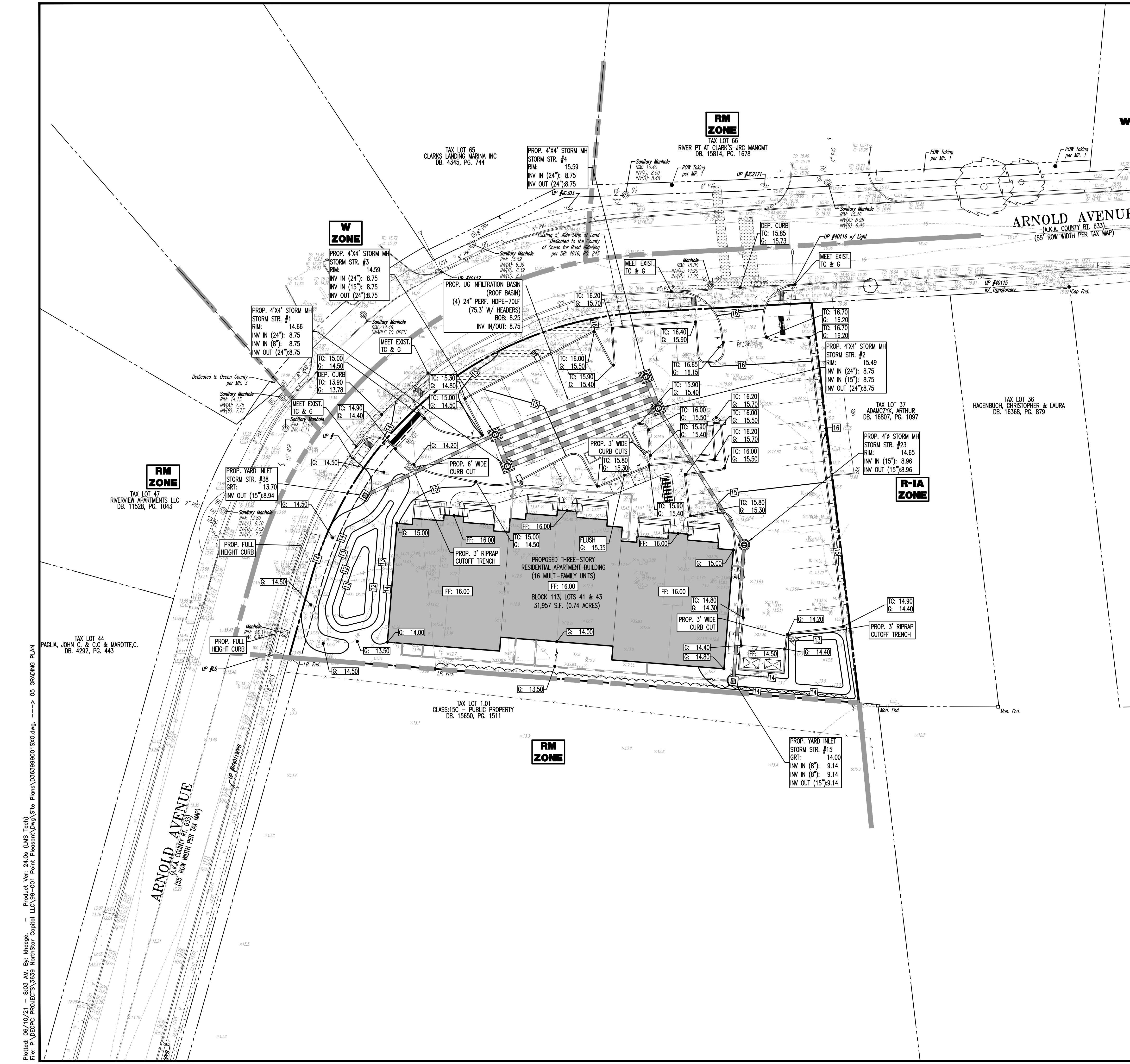
DOUGLAS GRYSKO
Professional Engineer
NEW JERSEY LICENSE No. 45986

KYLE C. KAVINSKI
Professional Engineer
NEW JERSEY LICENSE No. 52985

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Rev. # 2

Plotted: 06/10/21 - 8:03 AM, By: khesee, File: P:\BECPC PROJECTS\3639 Northstar Capital LLC\99-001 Point Pleasant\Draw\Site Plans\0363999001\SX\S.dwg, --- 04 SITE PLAN

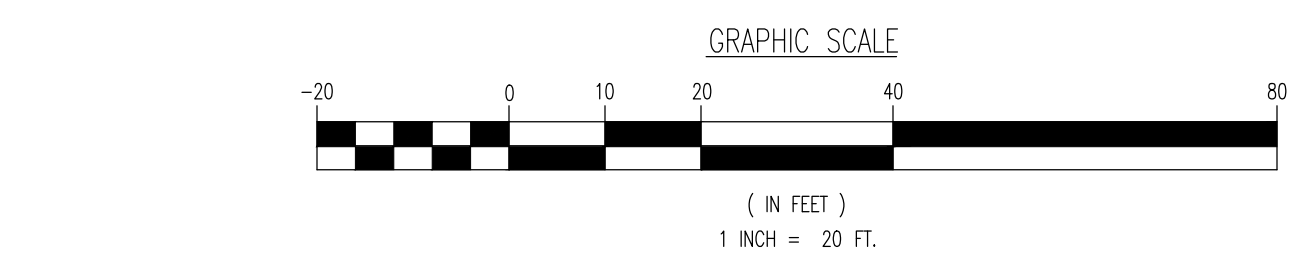


GRADING NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING OUT SHEETS PRIOR TO INSTALLATION.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
- CONTRACTOR TO ENSURE A MINIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESSIBLES. CONTRACTOR TO ENSURE A MINIMUM OF 2% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (908-874-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITH ANY PROPOSED INFILTRATION OR RETENTION BIGHN TO COMPARE RESULTS TO DESIGN CRITERIA.
- CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK, AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNERS GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
- THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

GRADING/UTILITY GRAPHIC LEGEND

	PROPERTY LINE (PARCEL IN QUESTION)		OFF-SITE PROPERTY LINES
	PROP. CABLE LINE		PROP. ELECTRIC LINE
	PROP. GAS LINE		PROP. FIBER OPTIC LINE
	PROP. OVERHEAD WIRES		PROP. TELEPHONE LINE
	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		PROP. WATER LINE
	PROP. SANITARY SEWER LINE		PROP. STORM DRAIN LINE
	PROP. FINISH GRADE CONTOUR & ELEVATION		PROP. GRADE SPOT ELEV.
	PROP. TOP OF CURB & FINISHED GRADE ELEV.		PROP. FINISHED FLOOR ELEV.
	PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)		PROP. TOP OF EXTENDED CURB @ HIGH SIDE OF EXTENDED CURB & (3) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
	PROP. DIRECTION OF DRAINAGE FLOW ARROW		PROP. WATER VALVE
	PROP. GAS VALVE		PROP. STORM CLEANOUT
	PROP. SANITARY SEWER MANHOLE		PROP. 'A' INLET
	PROP. 'B' INLET		PROP. 'E' INLET
	PROP. YARD INLET		PROP. FLARED END SECTION
	PROP. HEADWALL		



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 790 Newtown Yardley Road, Suite 210, Allen, TX 75013 T: 281.485.0276 F: 281.485.0261
 1301 Central Expressway South, Suite 210, Allen, TX 75013 T: 972.384.2100 | 14021 Oak Grove Road, Suite 200, Houston, TX 77079 T: 281.789.4400

TITLE: **GRADING PLAN**

PROJECT: **NORTHSTAR CAPITAL, LLC
 PROPOSED MULTI-FAMILY RESIDENTIAL (POINT VIEW LUXURY APARTMENTS)
 BLOCK 113, LOTS 41 & 43
 842 & 850 ARNOLD AVE.
 BOROUGHS OF POINT PLEASANT, OCEAN COUNTY, NEW JERSEY**

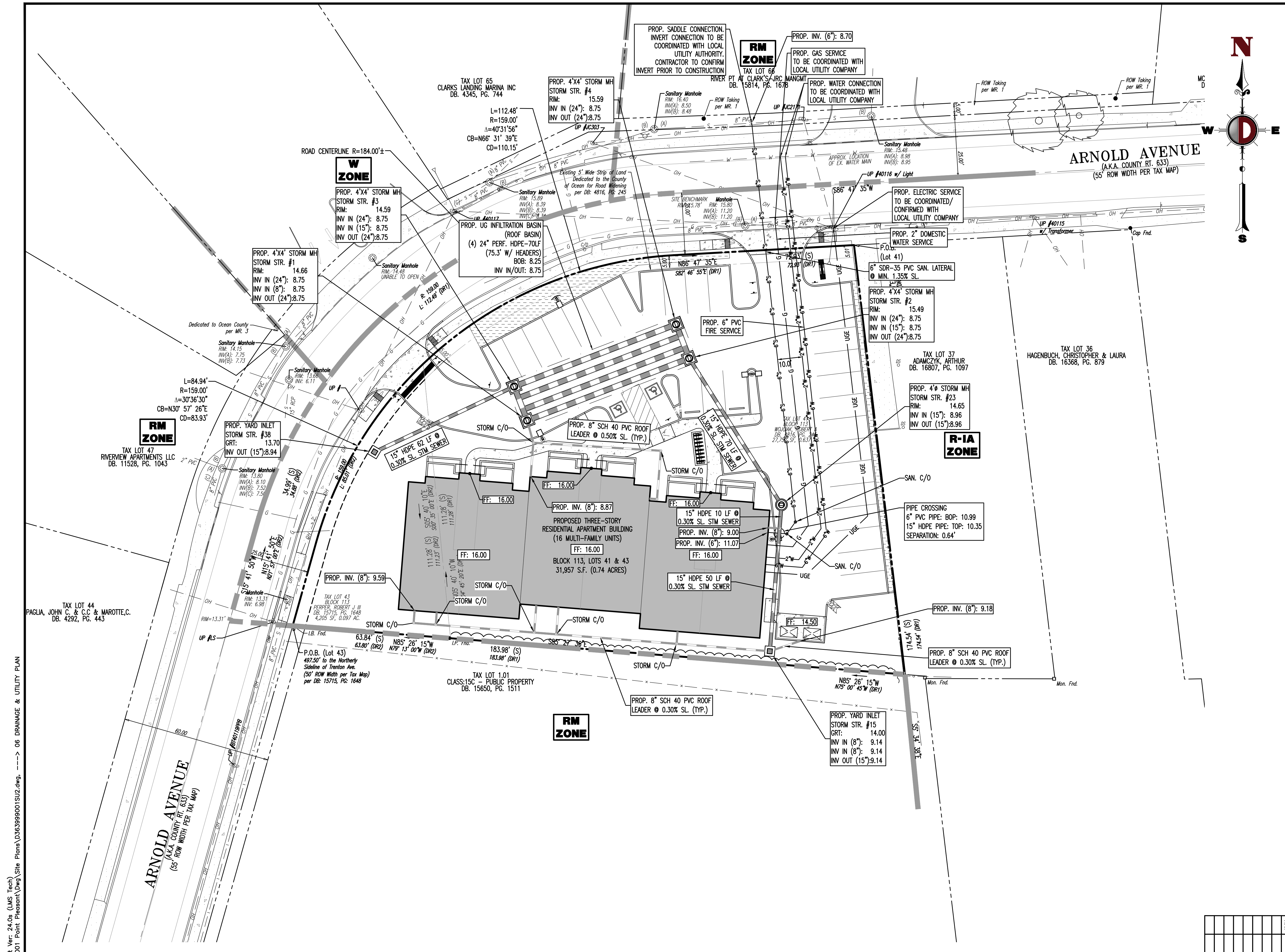
JOB No: 3639-99-001 DATE: 12/04/2020
 DRAWN BY: KJH SCALE: (H) 1"=20' (V)
 DESIGNED BY: KCK SHEET No:
 CHECKED BY: DG
 CHECKED BY: -

DOUGLAS GRYSKO PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 45896
KYLE C. KAVINSKI PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 52985

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 FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

Of 13
 Rev. # 2

Product Ver: 24.0a (LMS Tech)
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 Plotted: 06/10/21 - 8:03 AM, By: kheene,
 File: P:\BECPC PROJECTS\3639 NorthStar Capital LLC\99-001 Point Pleasant\DWG\Site Plans\03\363999001SXG.dwg, ---> 05 GRADING PLAN



EXISTING UTILITY NOTES

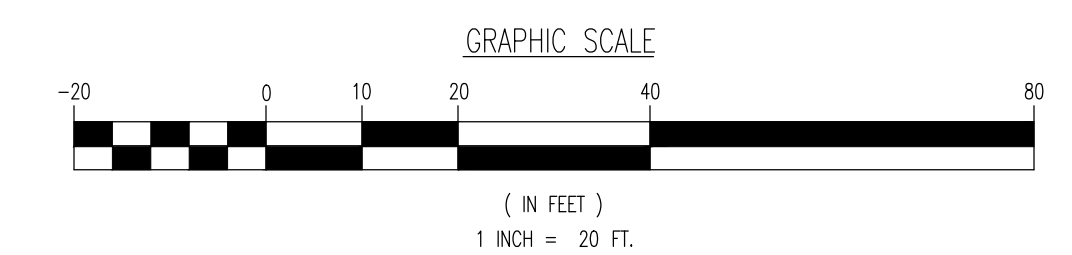
EXISTING WATER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

EXISTING GAS SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

SANITARY SEWER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

UTILITY NOTES

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFERENCE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE SDR-35 PVC PIPE UNLESS OTHERWISE DESIGNATED.
- ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
- WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONSTRUCTION.
- LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
- ROOF LEADER COLLECTION PIPES ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
- ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-907, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-907, CLASS HE-III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C-990 TO BE UTILIZED TO PROVIDE A SILENT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
- HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE CASKETS WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PREFORMED PIPE SHALL HAVE CASKETS SILENT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2336 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE CASKETS WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATER-TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.



GRADING/UTILITY GRAPHIC LEGEND

<p>EXIST. GUY WIRE</p> <p>EXIST. LIGHT POLE</p> <p>EXIST. FIRE HYDRANT</p> <p>EXIST. SHOE BOX LIGHT</p> <p>EXIST. COBRA LIGHT POLE</p> <p>EXIST. TRAFFIC SIGNAL POLE</p> <p>EXIST. MANHOLE</p> <p>EXIST. "A" INLET</p> <p>EXIST. "B" INLET</p> <p>EXIST. "C" INLET</p> <p>EXIST. YARD INLET</p> <p>EXIST. FLARED END SECTION</p> <p>EXIST. HEADWALL</p> <p>EXIST. UTILITY POLE</p>	<p>EXIST. MONITORING WELL</p> <p>APPROX. TEST PIT LOCATION</p> <p>EXIST. WATER VALVE</p> <p>EXIST. GAS METER</p> <p>EXIST. ELECTRIC METER</p> <p>EXIST. ELECTRIC BOX</p> <p>EXIST. CLEAN OUT</p> <p>EXIST. WELL</p> <p>EXIST. WATER SHUT OFF VALVE</p> <p>EXIST. TELEPHONE BOX</p> <p>EXIST. CABLE TV BOX</p> <p>EXIST. HEADWALL</p>	<p>PROP. WATER VALVE</p> <p>PROP. GAS VALVE</p> <p>PROP. STORM CLEANOUT</p> <p>PROP. SANITARY CLEANOUT</p> <p>PROP. AREA LIGHT</p> <p>PROP. OUTLET CONTROL STRUCTURE</p> <p>PROP. DRAINAGE MANHOLE</p> <p>PROP. SANITARY SEWER MANHOLE</p> <p>PROP. "A" INLET</p> <p>PROP. "B" INLET</p> <p>PROP. "C" INLET</p> <p>PROP. YARD INLET</p> <p>PROP. FLARED END SECTION</p> <p>PROP. WATER LINE</p>	<p>EXIST. CABLE LINE</p> <p>PROP. CABLE LINE</p> <p>EXIST. ELECTRIC LINE</p> <p>PROP. ELECTRIC LINE</p> <p>EXIST. FIBER OPTIC LINE</p> <p>PROP. FIBER OPTIC LINE</p> <p>EXIST. GAS LINE</p> <p>PROP. GAS LINE</p> <p>EXIST. OVERHEAD WIRES</p> <p>PROP. OVERHEAD WIRES</p> <p>EXIST. TELEPHONE LINE</p> <p>PROP. TELEPHONE LINE</p> <p>EXIST. WATER LINE</p> <p>PROP. WATER LINE</p>	<p>EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)</p> <p>PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)</p> <p>EXIST. SANITARY SEWER LINE</p> <p>PROP. SANITARY SEWER LINE</p> <p>EXIST. STORM DRAIN LINE</p> <p>PROP. STORM DRAIN LINE</p> <p>EXIST. MINOR CONTOUR & ELEVATION</p> <p>PROP. MAJOR CONTOUR & ELEVATION</p> <p>EXIST. FINISH GRADE CONTOUR & ELEVATION</p> <p>PROP. FINISH GRADE CONTOUR & ELEVATION</p> <p>EXIST. DIRECTION OF DRAINAGE FLOW ARROW</p>	<p>EXIST. SPOT ELEVATIONS</p> <p>EXIST. GUTTER ELEV.</p> <p>EXIST. TOP OF CURB ELEV.</p> <p>EXIST. FINISH FLOOR ELEV.</p> <p>EXIST. GARAGE FLOOR ELEV.</p> <p>PROP. GRADE SPOT ELEV.</p> <p>PROP. TOP OF CURB & FINISHED GRADE ELEV.</p> <p>PROP. FINISHED FLOOR ELEV.</p> <p>PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)</p> <p>PROP. TOP OF EXTENDED CURB, (OH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (OL) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB</p>
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THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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 1303 Central Expressway South, Suite 210, Allen, TX 75013 T: 972.284.2100 F: 972.284.2100

TITLE: **DRAINAGE & UTILITY PLAN**

PROJECT: **NORTHSTAR CAPITAL, LLC**
PROPOSED MULTI-FAMILY RESIDENTIAL (POINT VIEW LUXURY APARTMENTS)
 BLOCK 113, LOTS 41 & 43
 842 & 850 ARNOLD AVE.
 BOROUGHS OF POINT PLEASANT, OCEAN COUNTY, NEW JERSEY

JOB No: 3639-99-001
 DATE: 12/04/2020
 DRAWN BY: KJH
 SCALE: (H) 1"=20' (V)
 DESIGNED BY: KCK
 SHEET No: 6
 CHECKED BY: DG
 CHECKED BY: —

DOUGLAS GRYSKO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 45896

KYLE C. KAVINSKI
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52985

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Rev. 1 05/26/21 REV. PER BOROUGH COMMENTS
 Rev. 2 07/17/21 REV. PER CLIENT COMMENTS

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- PLANTING NOTES**
- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
 - CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE PERIOD AS SET FORTH IN THE CONTRACT DOCUMENTS. ACCEPTANCE OF THE CONTRACTOR SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
 - AS FAR AS IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE SUBJECT TO THE CONTRACTOR'S DISCRETION.
 - QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 - ALL PLANTS SHALL BE PLANTED IN AN UNBROKEN TOPSOIL THAT THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
 - PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
 - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PLANTS SHALL BE PLANTED IN UNBROKEN TOPSOIL THAT IS IN A MOIST OR MOISTENED CONDITION. ALL PLANT MATERIAL SHALL BE OPERATED WITH "WILL-PRUNE" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
 - NO PLANTS EXCEPT GRASS SHOULD BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
 - SET ALL PLANTS PLUMB AND STRAIGHT, SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
 - ALL UNBROKEN ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (7" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC.
 - MAIN TRUNKS OF TREES SHALL NOT BE PRUNED TO BACK LONG SIDE BRANCHES UNLESS MOST BE REMOVED.
 - EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN SHARP TOOLS.
 - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (5-10-5) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS OR ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY EXERCISING TREE PROTECTION TECHNIQUES AT THE DRIP LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
 - ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
 - NEW PLANTING AREAS AND SOIL SHALL BE ADEQUATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN. LAWN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE MUNICIPAL LANDSCAPE ARCHITECT. THE MUNICIPAL ENGINEER AND LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THE PLANTING OF THE LANDSCAPE AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A SUBDIVISION OR SITE PLAN APPROVAL BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

TYPE	DATES
PLANTS	3/15 to 12/15
LAWN	3/15 to 6/15
	9/15 to 12/15

FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON.

ACER RUBRUM	POPULUS VARIETIES
BETULA VARIETIES	PRUNUS VARIETIES
CARPINUS VARIETIES	PRUNUS VARIETIES
CRATAEGUS VARIETIES	QUERCUS VARIETIES
KOELBUTERA	QUERCUS VARIETIES
LIQUIDAMBAR STRYCIPIFLUA	QUERCUS VARIETIES
LIRODENDRON VARIETIES	TILIA TOMENTOSA
PLATANUS ACERIFOLIA	ULMUS VARIETIES

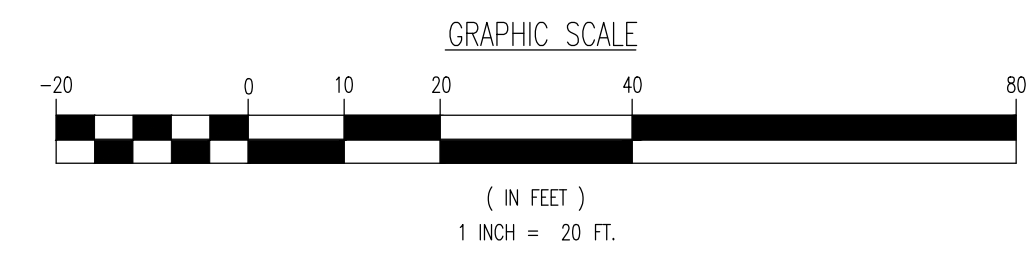
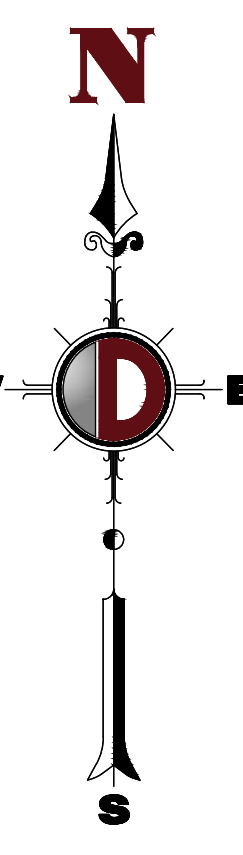
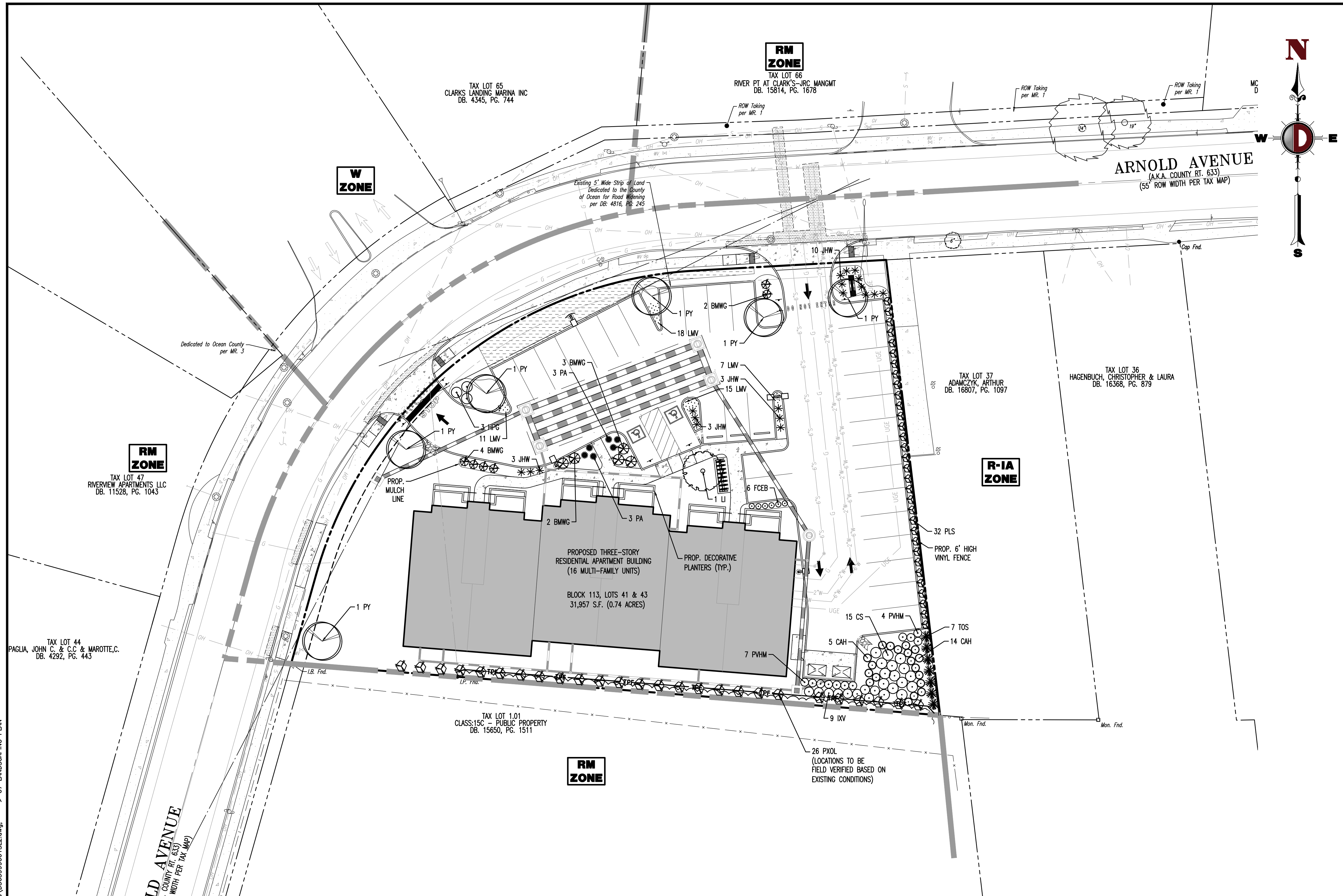
ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT. PRIOR TO PLANTING, FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL BE THE REASON FOR THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SOODING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.

- PLANTING SPECIFICATIONS**
- SCOPE OF WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
 - MATERIALS
 - GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION), OR APPROVED EQUIV. WELL ROOTED, FREE FROM DISEASE AND INSECTS.
 - PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH AND FULLY ROOTED, FREE FROM DISEASE AND INSECTS.
 - TOPSOIL - LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 - 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2") WOOD, ROOTS, VEGETABLE MATTER AND CLAY GLOBS.
 - MULCH - FOUR (4") INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH.
 - FERTILIZER AND SOIL CONDITIONERS
 - ORGANIC FERTILIZER - SHALL BE PROCESSING SLOWER SOLUDES WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO "NITROUMS".
 - ORGANIC FERTILIZER AND SOIL CONDITIONER - SHALL BE "GRO-POWER" AND ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES CONTAINING NO POULTRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1): NITROGEN 5%, PHOSPHATE 3%, POTASH 1%, 50% HUMUS AND 15% HUMIC ACIDS.
 - GENERAL WORK PROCEDURES
 - LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED AND REMOVED FROM THE SITE AT THE END OF EACH DAY'S WORK.
 - WEEDING
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - TOPSOILING
 - CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A 4" UNSETTLED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
 - SOIL CONDITIONING
 - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6" ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
20 POUNDS LEO-POWER
100 POUNDS AGRICULTURAL GYPSUM
20 POUNDS NITROFORM (COURSE) 38-0-0 BLUE CHIP
 - SOIL MODIFICATIONS
 - THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK RECYCLED WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF COBBLES WITH DEPTH OF LEAF OR WOOD STRUCTURE. AVOID MATERIALS WITH A pH HIGHER THAN 7.0.
 - MOISTURE HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS INCLUDING SUBSURFACE DRAINAGE LINES.
 - MOIST EXCEEDINGLY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
 - PLANTING
 - POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS. MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
1 PART PEAT MOSS BY VOLUME
1 PART CORN MANURE BY VOLUME
3 PARTS TOPSOIL BY VOLUME
21 GRAM "AGRIFORM" PLANTING TABLETS AS FOLLOWS:
7 TABLETS PER 1 CAL. PLANT
3 TABLETS PER 1/2 CAL. PLANT
3 TABLETS PER 1/4 CAL. PLANT
LARGER PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER
 - PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.
 - ALL PLANTS SHALL BE SET SO THAT THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPORTED.
 - PREPARE BASED EARTH BASIN AS WIDE AS PLANTING HOLES OF EACH TREE.
 - IMMEDIATELY AFTER PLANTING, WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
 - PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 7' BRANCHING HEIGHT.
 - GROUND COVER
 - ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
 - SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN DRAWINGS.
 - IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.
 - FINISH GRADING
 - ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS 1 FOOT OF FINISH GRADE.
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
 - WARRANTY
 - CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNER'S REPRESENTATIVE.
 - CLEANUP
 - UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
 - MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - MAINTAIN LAWN BY WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS AS REQUIRED FOR HEALTHY GROWTH. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
ORNAMENTAL TREES(S)					
U	1	LAGERSTROEMIA INDICA	COMMON CRAPMYRTLE	7-8"	30 GAL
PY	6	PRUNUS X YEDOENSIS	YOSHINO CHERRY	2-2 1/2" CAL.	B+B
EVERGREEN SHRUB(S)					
BWVG	11	BUXUS MICROPHYLLA 'WINTER GEM'	WINTER GEM BOXWOOD	30-36"	B+B
PLS	32	PRUNUS LAUROCARPUS 'SCHIPKAEANSIS'	SKIP CHERRY/LAUREL	30-36"	B+B
TOS	7	TILIA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN ARBORVITAE	5-6"	B+B
EVERGREEN SHRUB					
PXOL	26	PRUNUS LAUROCARPUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	24-30"	#3 CAN
DECIDUOUS SHRUB(S)					
CAH	19	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	24-30"	#3 CAN
CS	3	CORNUS SERICEA	REDOSMIL	2-3"	B+B
HPG	3	HYDRANGEA PANICULATA 'GRANDIFLORA'	PEE GEE HYDRANGEA	24-30"	#5 CAN
IVX	9	ILEX X VERTICILLATA 'HARVEST RED'	HARVEST RED WINTERBERRY	30-36"	#5 CAN
GROUND COVER					
JHW	19	JUNIPERUS HORIZONTALIS 'WILTON'	WILTON'S BLUE RUG JUNIPER	15-18" SPRD	#3 CAN
PERENNIAL(S)					
LWV	51	LIROPE MUSCARI 'VAREGATA'	VAREGATED LILYTURF	1 PT.	CONTAINER
ORNAMENTAL GRASS(S)					
FCFB	6	FESTUCA DNEREA 'ELIYAH'S BLUE'	BLUE FESCUE	1 GAL.	CONTAINER
PA	6	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	2 GAL.	CONTAINER
PVHM	11	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	2 GAL.	CONTAINER
	23				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.



SEE SHEET 13 OF 13 FOR LANDSCAPING DETAILS

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LANDSCAPING PLAN

PROJECT: **NORTHSTAR CAPITAL, LLC**
PROPOSED MULTI-FAMILY RESIDENTIAL (POINT VIEW LUXURY APARTMENTS)
BLOCK 113, LOTS 41 & 43
842 & 850 ARNOLD AVE.
BOROUGH OF POINT PLEASANT, OCEAN COUNTY, NEW JERSEY

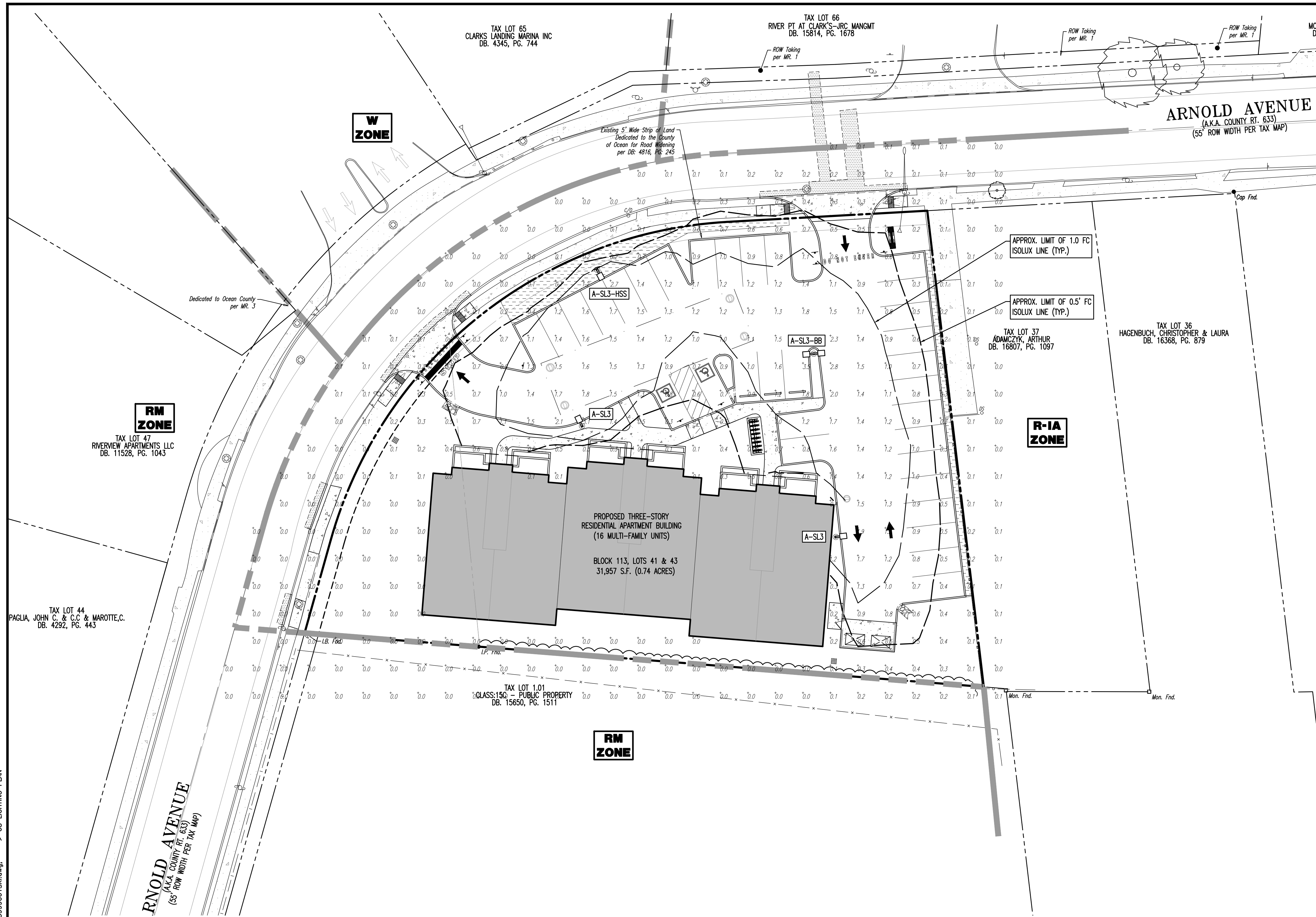
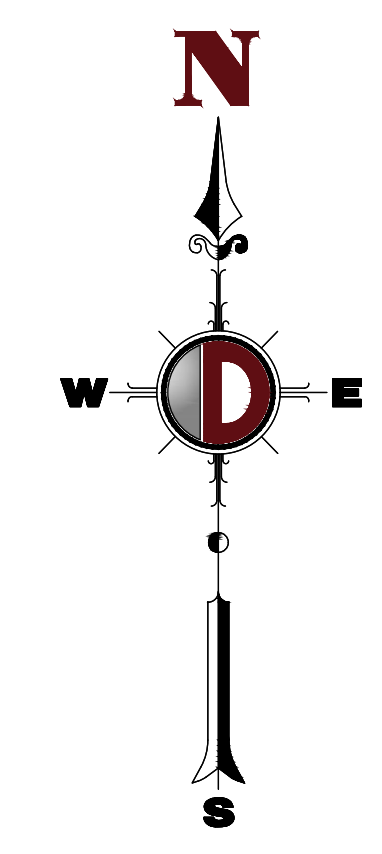
JOB No: 3639-99-001
DATE: 12/04/2020
DRAWN BY: KJH
SCALE: (H) 1"=20' (V)
DESIGNED BY: KCK
CHECKED BY: DG
CHECKED BY: -

DOUGLAS GRYSKO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 45896

MARLA A. ROLLER
LICENSED LANDSCAPE ARCHITECT
NEW JERSEY LICENSE No. 21AS00053700

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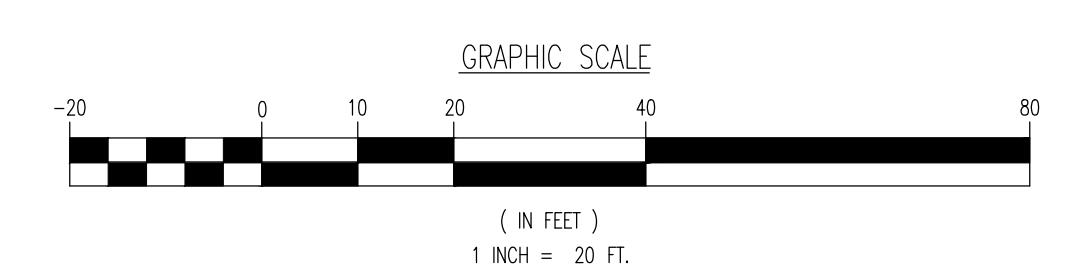
Rev. # 2



GENERAL NOTES

1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUIDERAIL POSTS.
4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
5. REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING DIAGRAM.

SEE SHEET 13 OF 13 FOR LIGHTING DETAILS



LIGHTING LUMINAIRE SCHEDULE									
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION	IES FILE
	2	A-SL3	34	20'	SINGLE	1.000	COOPER LIGHTING	GLEON-SA1A-730-U-SL3	GLEON-SA1A-730-U-SL3.IES
	1	A-SL3-HSS	34	20'	SINGLE	1.000	COOPER LIGHTING	GLEON-SA1A-730-U-SL3-HSS	GLEON-SA1A-730-U-SL3-HSS.IES
	1	A-SL3-BB	34	20'	BACK TO BACK	1.000	COOPER LIGHTING	GLEON-SA1A-730-U-SL3	GLEON-SA1A-730-U-SL3.IES

ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.
 (FM) = FLUSH MOUNT FOUNDATION (PED) = PEDESTAL FOUNDATION
 THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).
 * ALL SITE LIGHT FIXTURES AND POLES TO BE BROWN IN COLOR.

STATISTICAL AREA SUMMARY						
LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.	DESCRIPTION
PIQ	0.78	3.5	0.0	N.A.	N.A.	AREA LOCATED WITHIN PROPERTY IN QUESTION
PAVEMENT	1.20	3.5	0.3	4.00	11.67	AREA LOCATED WITHIN PAVEMENT

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TITLE: **LIGHTING PLAN**

PROJECT: **NORTHSTAR CAPITAL, LLC**
PROPOSED MULTI-FAMILY RESIDENTIAL (POINT VIEW LUXURY APARTMENTS)
 BLOCK 113, LOTS 41 & 43
 842 & 850 ARNOLD AVE.
 BOROUGHS OF POINT PLEASANT, OCEAN COUNTY, NEW JERSEY

JOB No: 3639-99-001
 DRAWN BY: KJH
 DESIGNED BY: KCK
 CHECKED BY: DG

DATE: 12/04/2020
 SCALE: (H) 1"=20'
 (V)
 SHEET No: **8**

DOUGLAS GRYSKO

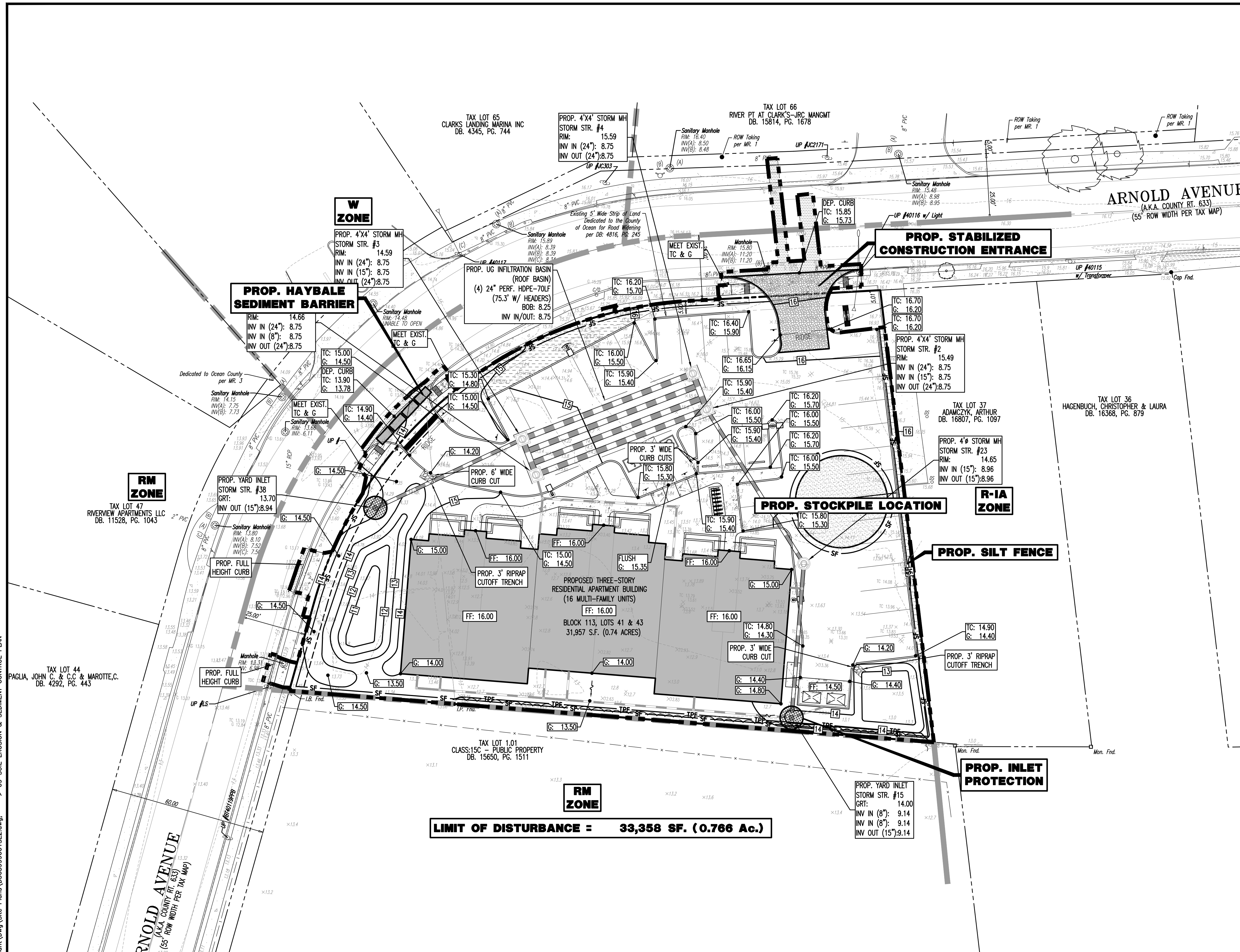
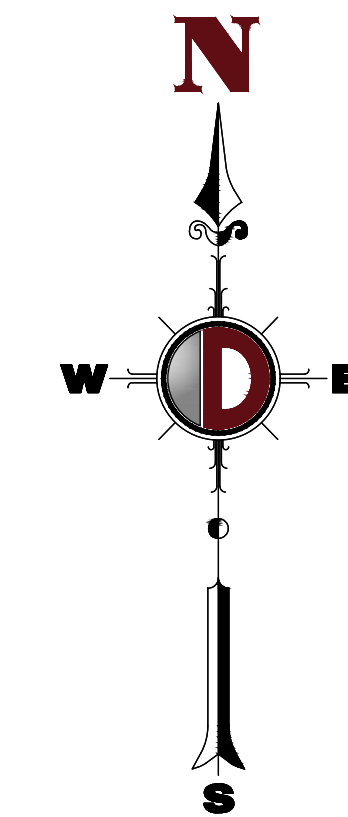
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KYLE C. KAVINSKI
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52985

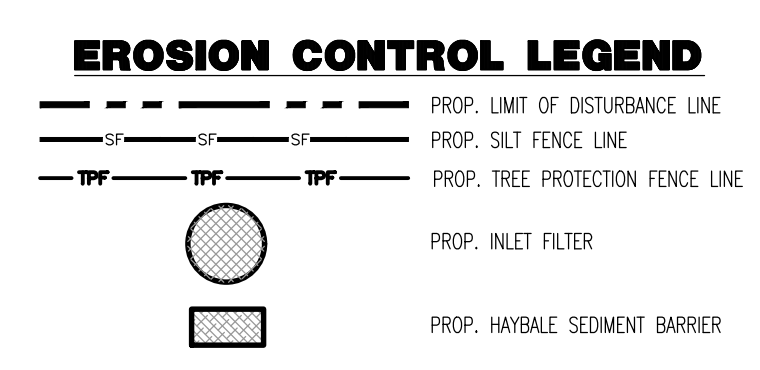
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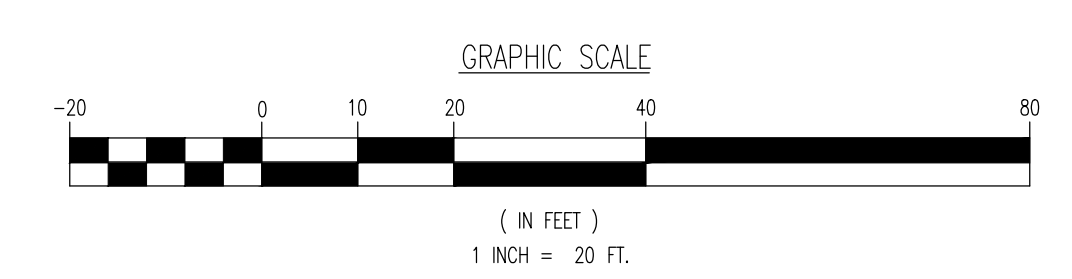
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LIMIT OF DISTURBANCE = 33,358 SF. (0.766 Ac.)



SEE SHEET 10 OF 13 FOR SOIL EROSION NOTES & DETAILS



Product Ver: 24.0g (LMS Tech)
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TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN

PROJECT: **NORTHSTAR CAPITAL, LLC**
PROPOSED MULTI-FAMILY RESIDENTIAL (POINT VIEW LUXURY APARTMENTS)
 BLOCK 113, LOTS 41 & 43
 842 & 850 ARNOLD AVE.
 BOROUGHS OF POINT PLEASANT, OCEAN COUNTY, NEW JERSEY

JOB No: 3639-99-001 DATE: 12/04/2020
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DOUGLAS GRYSKO

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KYLE C. KAVINSKI

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SEQUENCE OF CONSTRUCTION:

- PHASE 1: INSTALL ALL SOIL EROSION SEDIMENT CONTROL MEASURES INCLUDING INLET PROTECTION, DOWN SLOPE PERIMETER SILT FENCING AND TREE PROTECTION FENCE. (1 DAY)
- PHASE 2: DEMOLITION OF EXISTING BUILDINGS (1 WEEK)
- PHASE 3: CLEAR AND ROUGH GRADE FOR NEW CURBING AND OTHER IMPROVEMENTS. (1 WEEK)
- PHASE 4: EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING, UNDERGROUND UTILITIES, UNDERGROUND BASIN AND SIGNAGE FOUNDATIONS, ETC. (2 WEEKS)
- PHASE 5: FINAL GRADING ON SITE. (1 WEEK)
- PHASE 6: INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING. (1 WEEK)
- PHASE 7: REMOVED ALL SOIL EROSION SEDIMENT CONTROL MEASURES INCLUDING INLET PROTECTION, DOWN SLOPE PERIMETER SILT FENCING AND TREE PROTECTION FENCE. (1 DAY)

SEED / SOD BED PREPARATION NOTES

1. STEPS WHICH ARE TO BE FOLLOWED FOR PROPER SEEDBED PREPARATION:
 - A. (UNSETTLED) OF GOOD QUALITY TOPSOIL IS TO BE GRAZED ONTO LOT.
 - B. THE SEEDBED SHOULD FURTHER BE PREPARED BY FERTILIZING AND LIMING. UNLESS SOIL TESTS ARE AVAILABLE FOR REVIEW, THE LANDSCAPER MUST APPLY:
 - I. 10-10-10 @ 500 LBS. PER ACRE.
 - II. 30-0-0 (LOW RELEASE NITROGEN) @ 300 LBS. PER ACRE.
 - III. APPLY LIMESTONE APPROXIMATELY 90 LBS. PER 1,000 SQUARE FEET.
 - C. THESE FERTILIZERS AND LIMESTONE SHOULD BE WORKED INTO THE TOPSOIL PRIOR TO SEEDING.
 - D. MULCH IS TO BE APPLIED ON TOP OF THE SEEDBED AT A RATE OF 2.0 TONS OR 90-115 LBS. PER 1,000 SQUARE FEET. THIS MULCH IS TO BE SPREAD EVEN TO COVER 95-100% OF THE GROUND SURFACE. MULCH USED IS TO BE SALT HAY OR SMALL GRAIN STRAW AND IS REQUIRED ON ALL SEEDINGS.

AFTER MULCHING IS ACCOMPLISHED, PAPER FIBER MULCH, APPLIED BY THE HYDRO SEEDER AT A RATE OF 1500 LBS. PER ACRE IS TO BE SHOT TO TACK DOWN STRAW MULCH. IT IS ADVISED THAT APPLICATIONS OF PAPER MULCH ARE TO BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN SWALES, AND AT SLOPES WHICH ARE STEEPER THAN 5% OR ONE FOOT RISE PER 20 FEET HORIZONTAL DISTANCE.
 - E. ONCE SEEDBED IS IN PLACE, IT MUST BE WATERED DAILY FOR A MINIMUM PERIOD OF TWO WEEKS OR UNTIL GRASS IS CONSIDERABLY ESTABLISHED.

STABILIZATION SPECIFICATIONS - TEMPORARY SEEDING AND MULCHING:

- LIMESTONE - 2 TONS/ACRE UNLESS SOIL TESTING INDICATES OTHERWISE.
- FERTILIZERS - 500 LBS/ACRE OR 11 LBS/1000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE.
- SEEDS:
 - COOL SEASON:
 - PERENNIAL RYE GRASS 100 LBS/ACRE OR OTHER APPROVED SEEDS;
 - PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - WARM SEASON:
 - PEARL MILLET AT 20 LBS/AC. OR OTHER APPROVED SEEDS;
 - PLANT BETWEEN 15 AND AUGUST 15.
- MULCH - UNSETTLED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY AT A RATE OF 1.5-2 TONS PER ACRE 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, LIQUID MULCH BINDER, OR CRIMPER).

PERMANENT SEEDING:

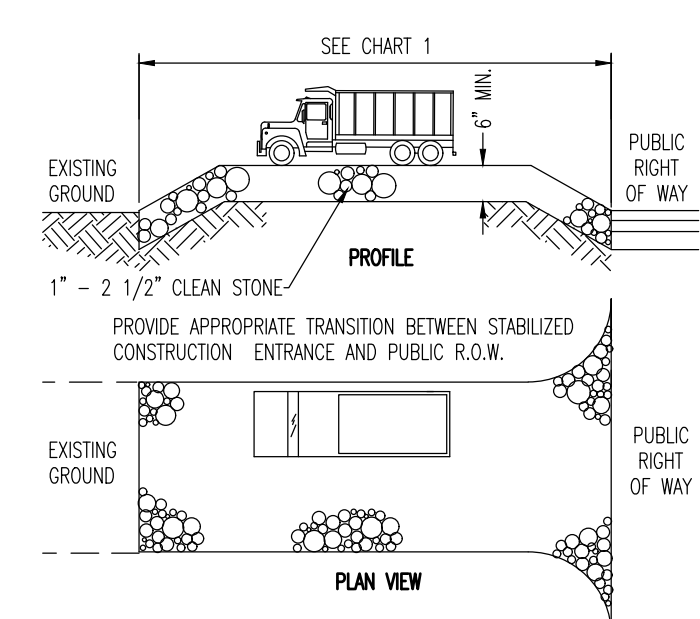
- GENERAL SITE SEEDING MIX:
 - HARD FESCUE - 175 LBS/ACRE 4.0 LBS/1000 SQ.FT.
 - PERENNIAL RYEGRASS - 45 LBS/ACRE 1.0 LBS/1000 SQ.FT.
 - KY. BLUEGRASS - 45 LBS/ACRE 1.0 LBS/1000 SQ.FT.
- PERMANENT STABILIZATION SPECIFICATIONS: MULCHING
 - A. MULCH MATERIALS TO BE UNSETTLED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY AT THE RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 POUNDS PER 1,000 SQ. FT. EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER THE RATE OF APPLICATION IS 3 TONS PER ACRE.
 - B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 85% OF SOIL SURFACE WILL BE COVERED.
 - C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 - (1) PEG AND TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH-BINDERS
 - (4) CRIMPER (MULCH ANCHORING COULTER TOOL)

STANDARD FOR STABILIZATION WITH MULCH ONLY

- A. UNSETTLED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 80 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- B. ASPHALT EMULSION IS RECOMMENDED AT THE RATE OF 600 TO 1,200 GALLONS PER ACRE. THIS IS SUITABLE FOR A LIMITED PERIOD OF TIME WHERE TRAVEL BY PEOPLE, ANIMALS, OR MACHINES IS NOT A PROBLEM.
- C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAYBE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
- D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
- E. MULCH NETTING, SUCH AS PAPER JUTE, EXCELORON, COTTON, OR PLASTIC, MAYBE USED.
- F. WOOD CHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED EXCEPT IN AREAS OF FLOWING WATER.
- G. GRAVEL, CRUSHED STONE, OR SLAG AT RATE OF 9 CUBIC YARDS PER 1000 SQ. FT. AT DEPTH OF 3 INCHES.
- H. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 - (1) PEG AND TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH-BINDERS
 - (4) CRIMPER (MULCH ANCHORING COULTER TOOL)

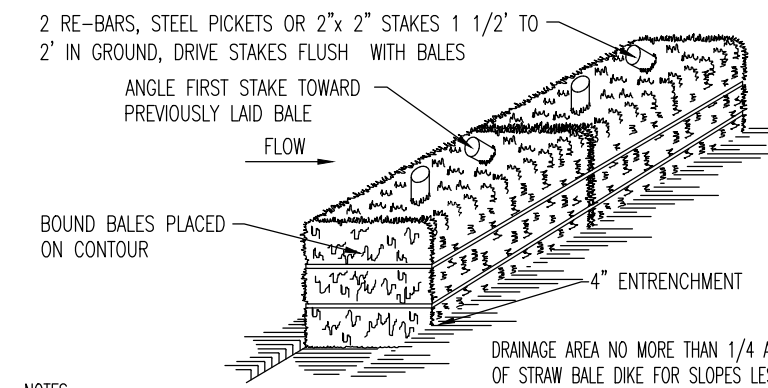
OCEAN COUNTY SOIL EROSION & SEDIMENT CONTROL GENERAL NOTES

1. THE OCEAN COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY LAND DISTURBANCE.
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
3. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
4. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT. THE REVISED PLANS MUST MEET ALL CURRENT "THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION, JANUARY 2014, REVISED JULY 2017. LINK TO 2014 STANDARDS: [HTTP://WWW.STATE.NJ.US/AGRICULTURE/DMSIONS/NR/NRC/NRIEROSION.HTML](http://www.state.nj.us/agriculture/dmsions/nr/nrc/nrierosion.html)
5. N.J.S.A. 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THERE HAS BEEN COMPLIANCE WITH PROVISIONS OF A CERTIFIED PLAN FOR PERMANENT MEASURES. ALL SITE WORK, AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
6. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL WITHIN 14 DAYS, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.
7. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 1 1/2 TO 2 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
8. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
9. ANY STEEP SLOPES (3:1 OR GREATER) OR ANY EXISTING ROADWAYS RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES.
10. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD USING CLEAN CRUSHED ANGULAR STONE (ASTM C-33, SIZE NO. 2 OR 3) AT ALL CONSTRUCTION DRIVEWAYS WHERE VEHICLES WILL ACCESS PAVED ROADWAYS FROM UNPAVED AREAS OF THE SITE.
11. ALL SEDIMENT WASHED, DROPPED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES WILL BE REMOVED IMMEDIATELY.
12. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. AT THE TIME OF THE FINAL INSPECTION, YOU ARE REQUIRED TO PROVIDE CONFIRMATION THAT THE PROPER TYPE AND AMOUNT OF SEED, LIME AND FERTILIZER HAVE BEEN USED FOR PERMANENT STABILIZATION WORK. STRAW MULCH IS REQUIRED ON ALL SEEDING.
13. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT FOR APPROPRIATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
14. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
15. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL. CONDUIT OUTLET PROTECTION IS NOT REQUIRED IN BASINS ACTING AS SEDIMENT BASINS DURING CONSTRUCTION.
16. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
17. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
18. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. THE DISTRICT RESERVES THE RIGHT TO DETERMINE WHEN CERTIFICATION OF A NEW AND SEPARATE SOIL EROSION AND SEDIMENT CONTROL PLAN WILL BE REQUIRED FOR THESE ACTIVITIES.
19. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6. STOCKPILES SHOULD BE SITUATED SO AS TO NOT OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
20. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.



STABILIZED CONSTRUCTION ENTRANCE

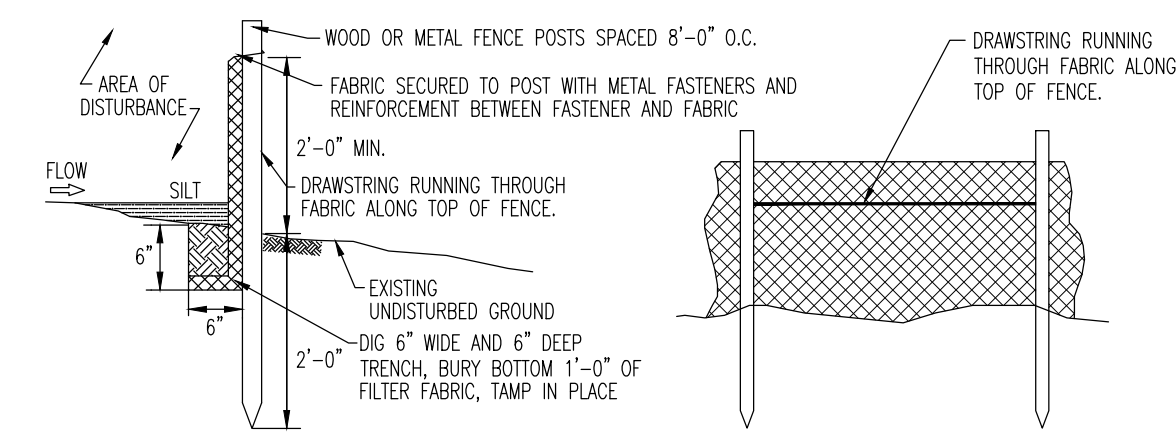
NOT TO SCALE



- NOTES:
1. BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ADJUTING THE ADJACENT BALES.
 2. EACH BALE SHALL BE PLACED SO THE GROUNDS ARE HORIZONTAL.
 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAD BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
 4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
 5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

HAYBALE SEDIMENT BARRIER DETAIL

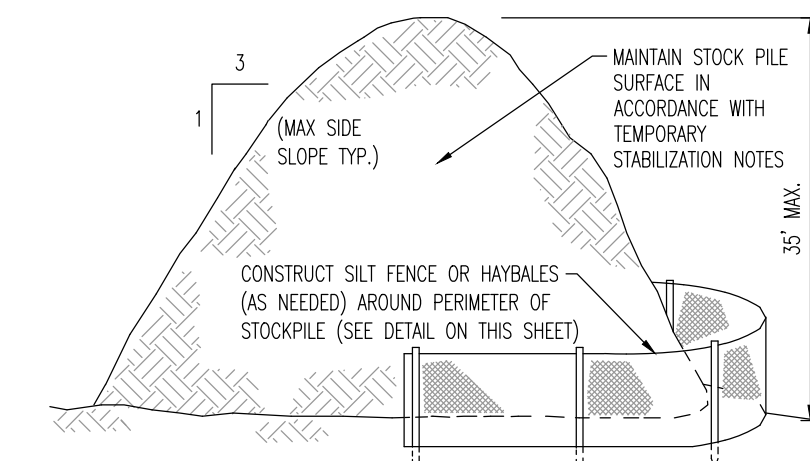
NOT TO SCALE



1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
2. THE SLOPE OF THE LAND FOR AT LEAST 10 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 PERCENT.
3. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
5. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE TOWNSHIP ENGINEER OR SOIL CONSERVATION DISTRICT.
6. THE BARRIER SHALL BE REMOVED WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HORIZONTAL A MIN. DIAMETER THICKNESS OF 1 1/2 INCHES.
8. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
9. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE GROUND. FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND HIGH STRENGTH REINFORCEMENT MATERIAL (WELON WELDING, CROMETEX, WISHEYS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR EASY STRENGTH.

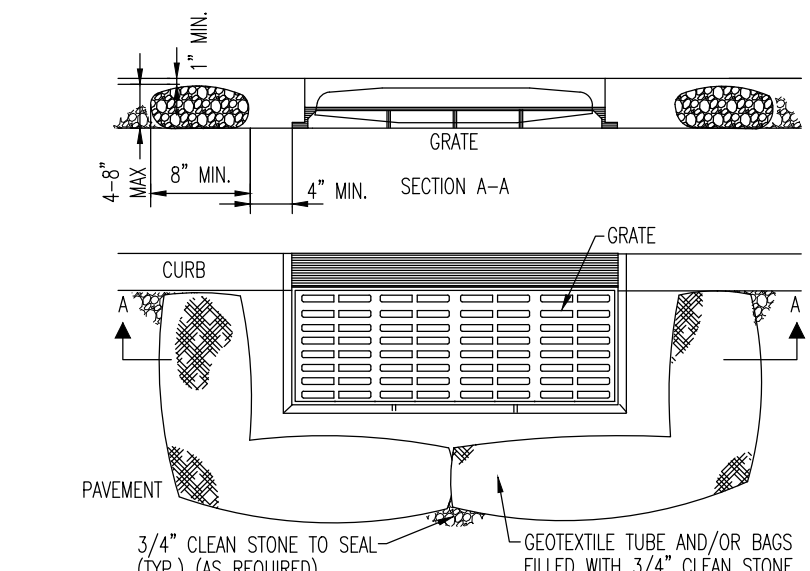
SILT FENCE DETAIL

NOT TO SCALE



TEMPORARY STOCKPILE DETAIL

NOT TO SCALE



- NOTES:
1. GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT 1175, BY SYNTHETIC INDUSTRIES INC., OR TERRATEX SC, BY WETCO, INC. OR APPROVED EQUIV.
 2. 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE. SEAMS SHALL BE SEWN OR CLOTTED BY STAPLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE.
 3. WHERE NO CURB IS PRESENT, BARRIERS SHALL COMPLETELY ENCLOSE THE DRAIN INLET.
 4. INLET GRATE OPENING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
 5. THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SURELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
 6. OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 7. INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

INLET FILTER DETAIL

NOT TO SCALE

Plotted: 06/10/21 - 8:05 AM, By: ksheezy, Product Ver: 24.0a (LMS Tech) File: P:\BECPC PROJECTS\3639 NorthStar Capital LLC\99-001 Point Pleasant\DWG\Site Plans\363999001SD2.dwg, ---> 10 SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

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40 Main Street - 3rd Floor
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 F: 732.974.3521
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TITLE: **SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS**

PROJECT: **NORTHSTAR CAPITAL, LLC**
 PROPOSED MULTI-FAMILY RESIDENTIAL (POINT VIEW LUXURY APARTMENTS)
 BLOCK 113, LOTS 41 & 43
 842 & 850 ARNOLD AVE.
 BOROUGHS OF POINT PLEASANT, OCEAN COUNTY, NEW JERSEY

JOB No: 3639-99-001 DATE: 12/04/2020
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 DESIGNED BY: CKCK SHEET No:
 CHECKED BY: DG
 CHECKED BY: -

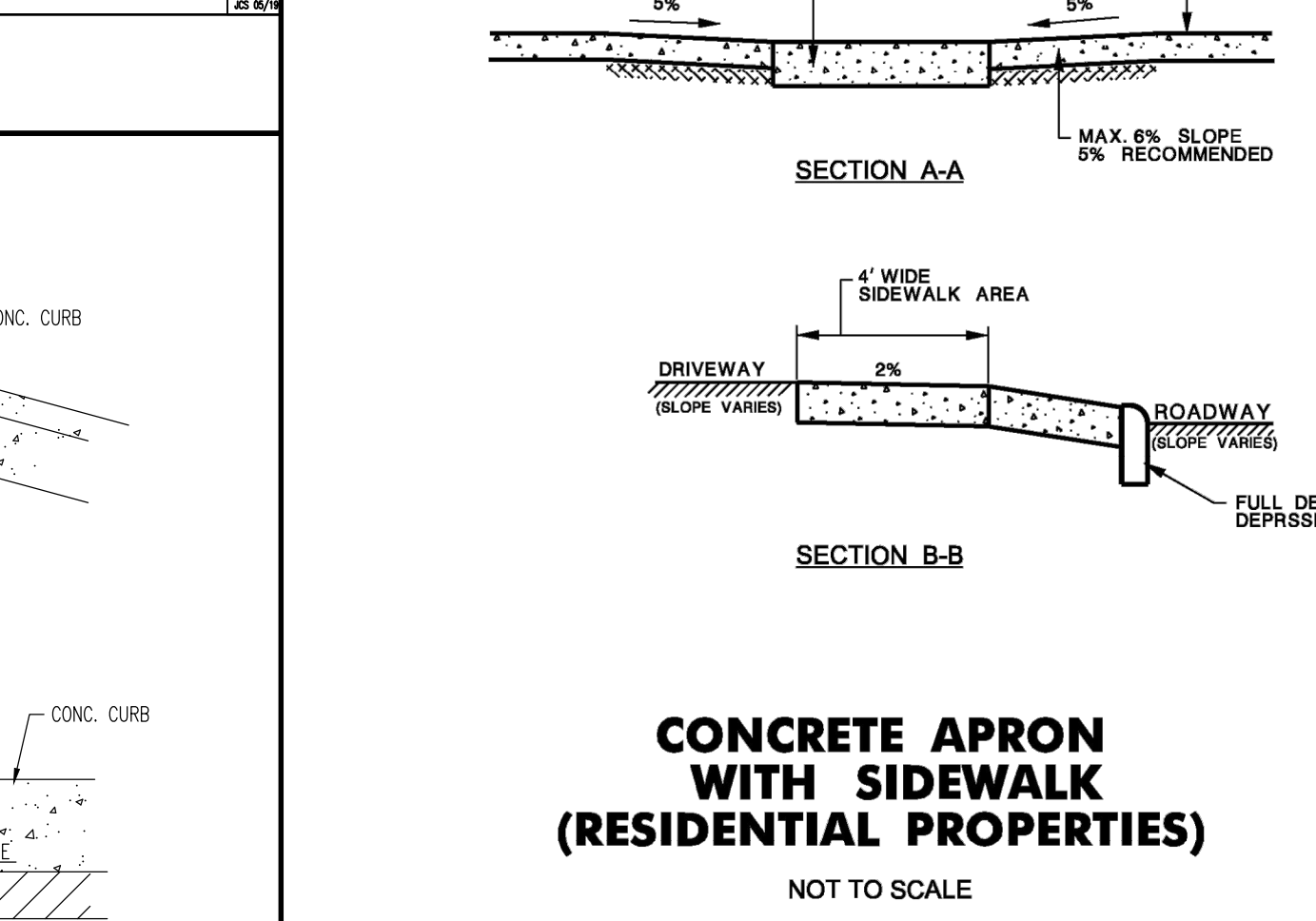
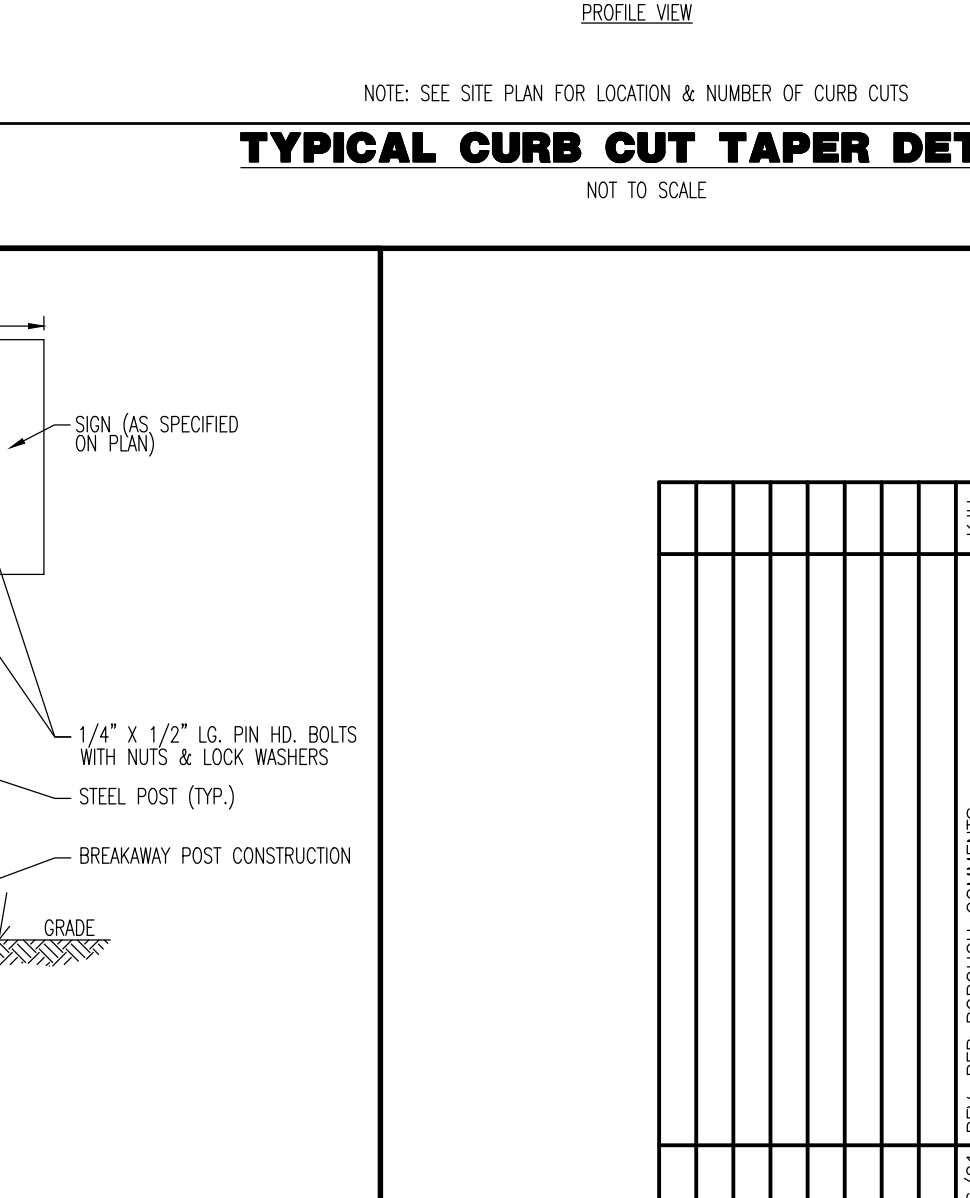
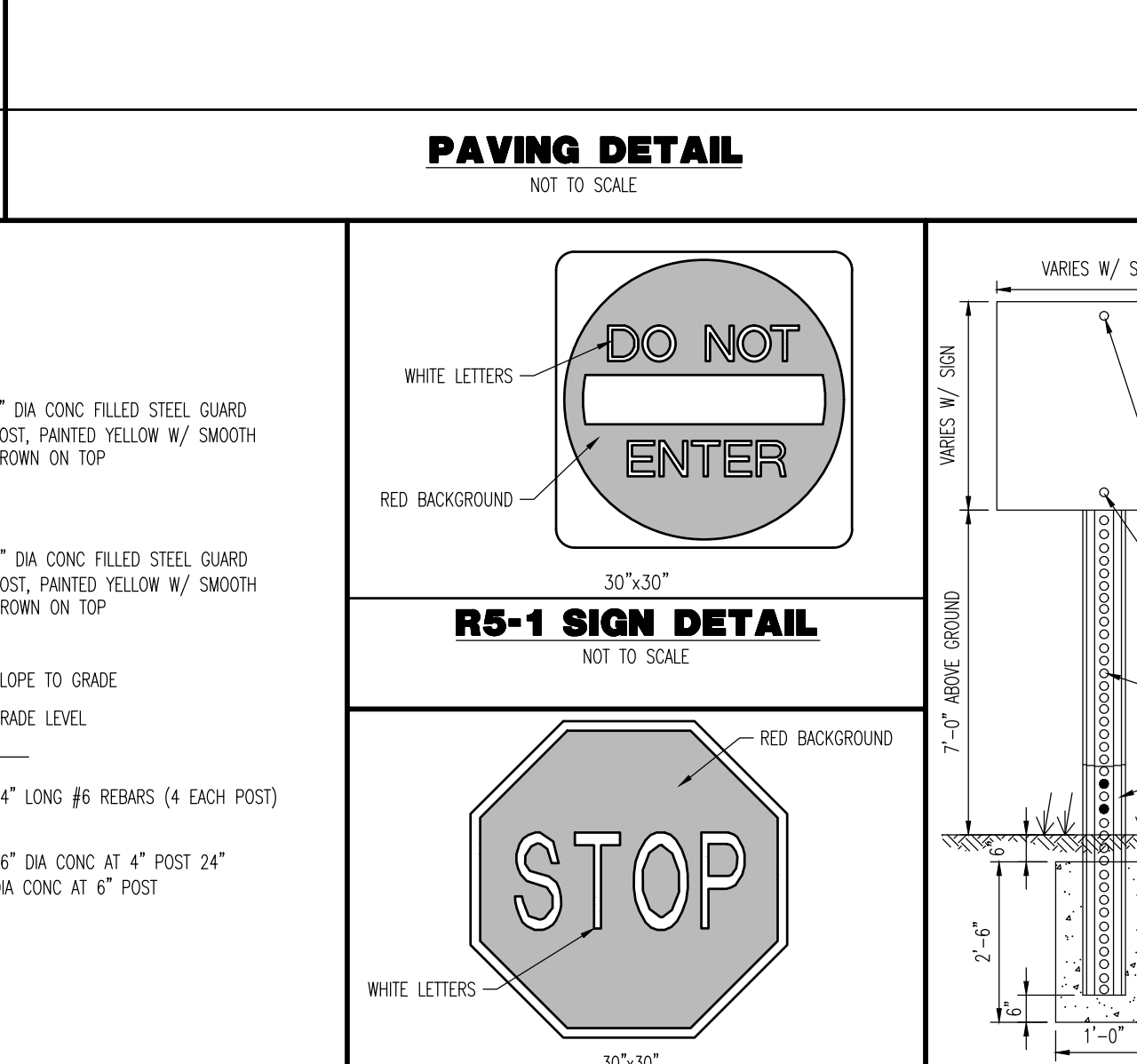
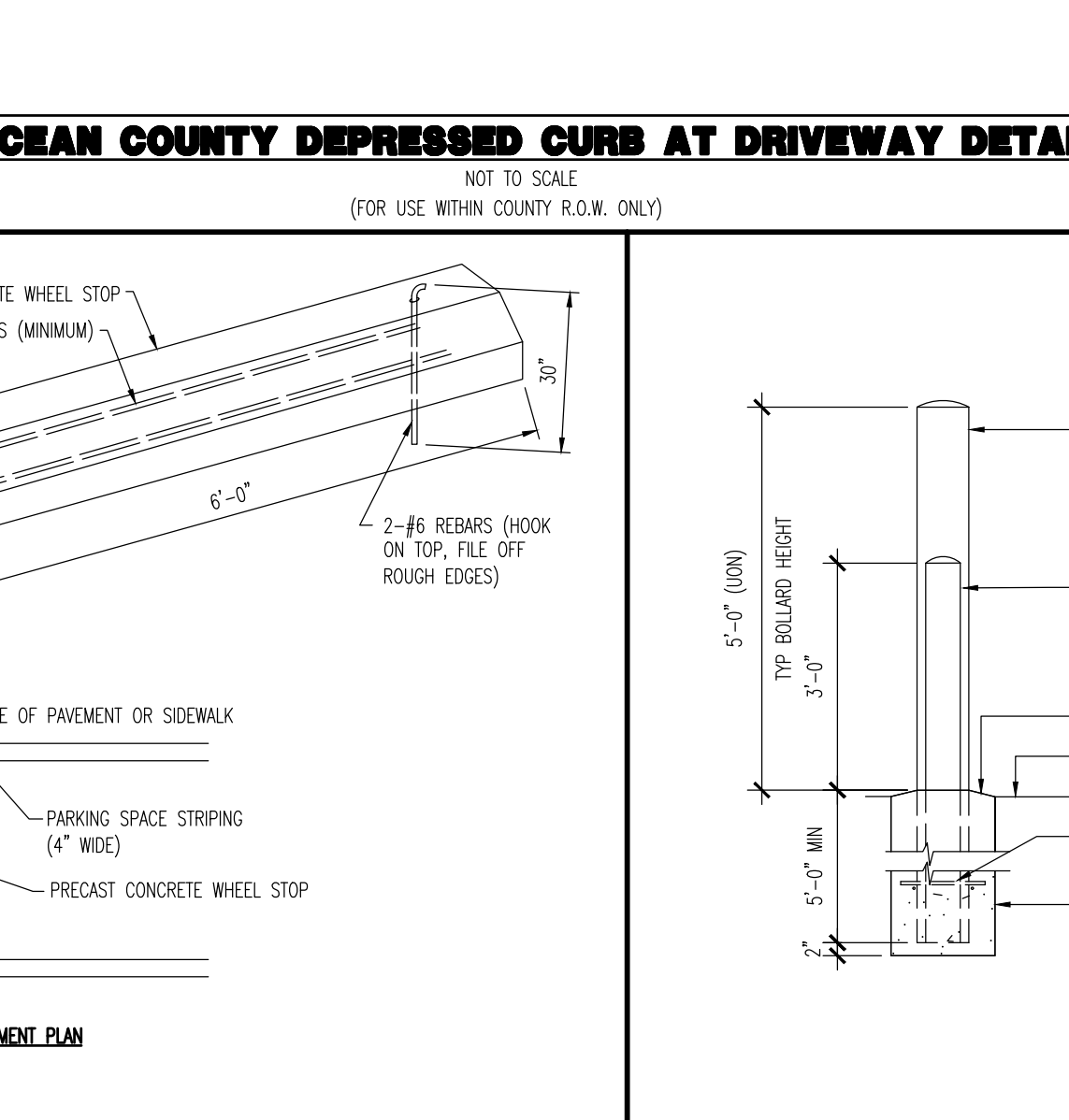
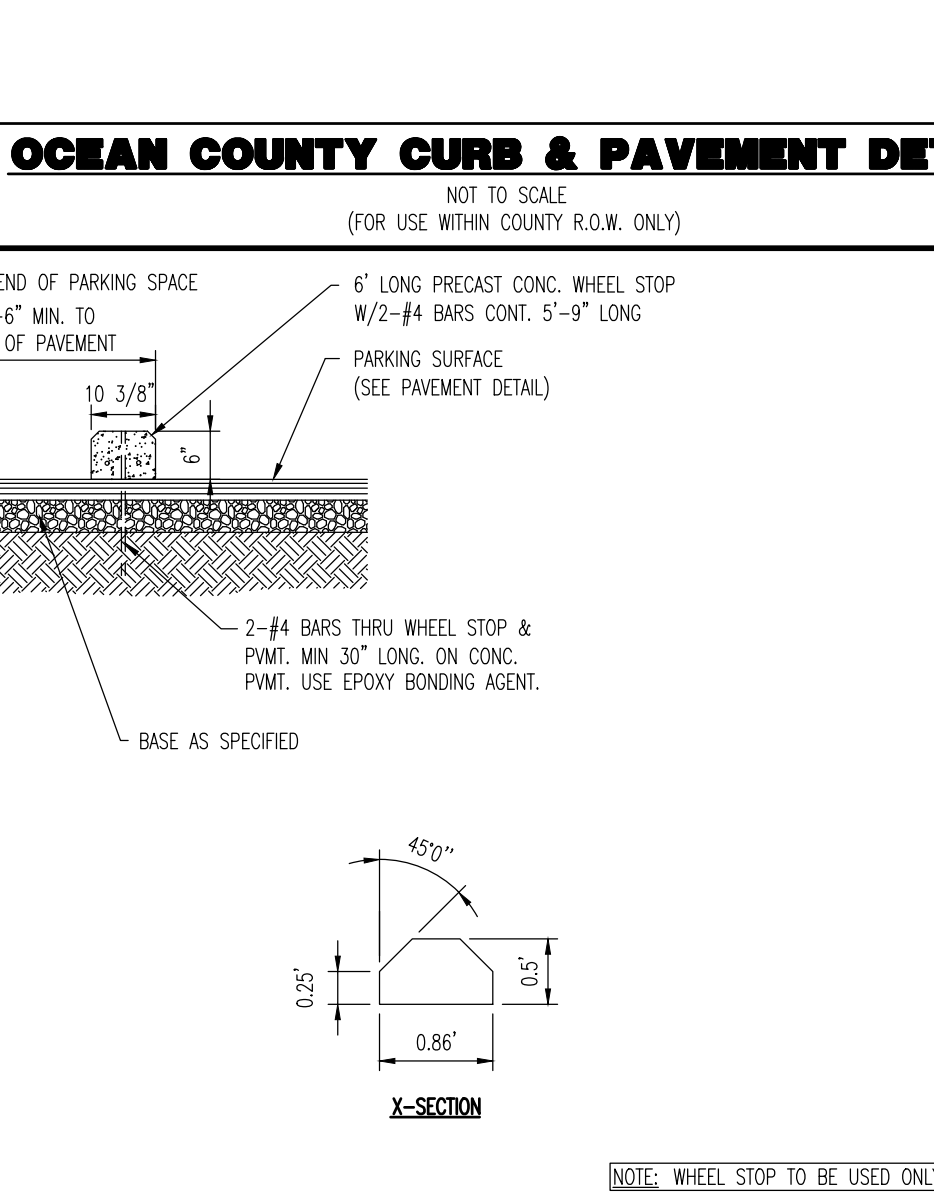
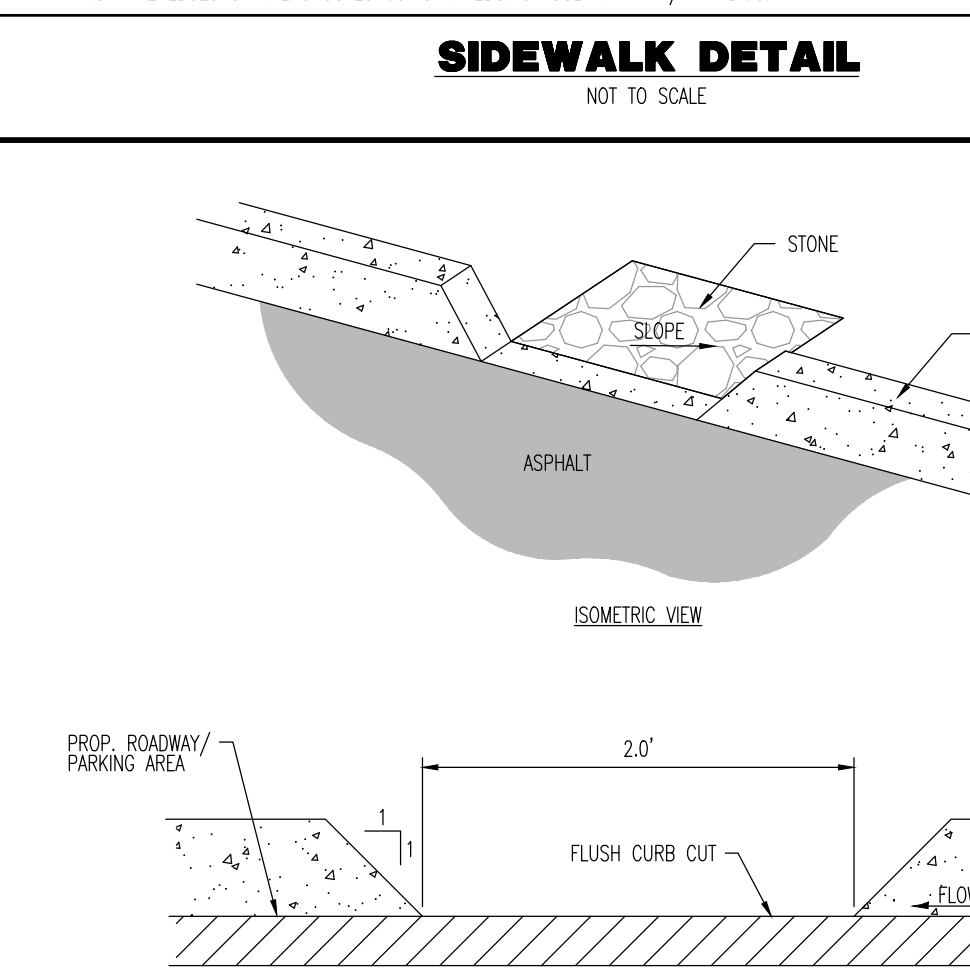
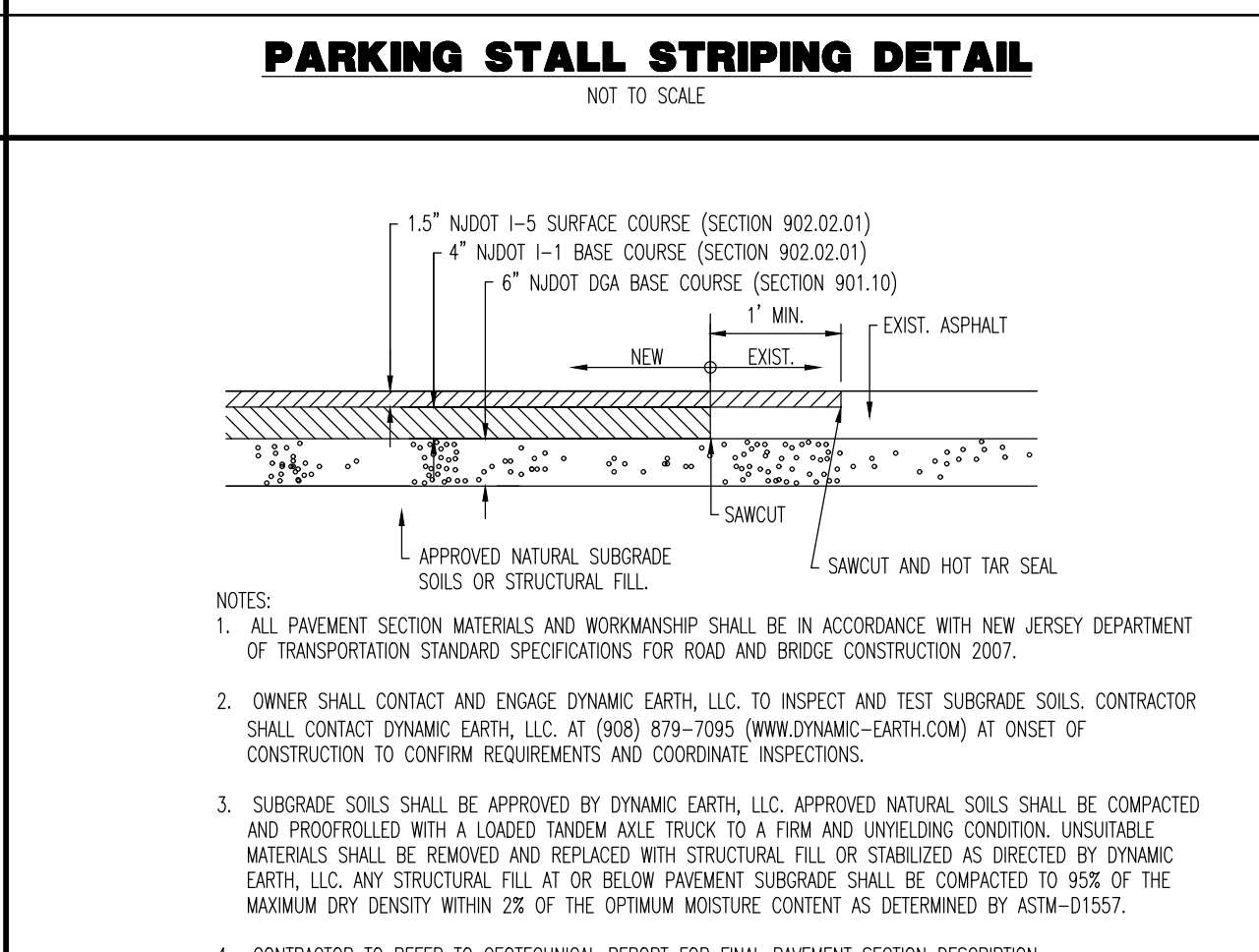
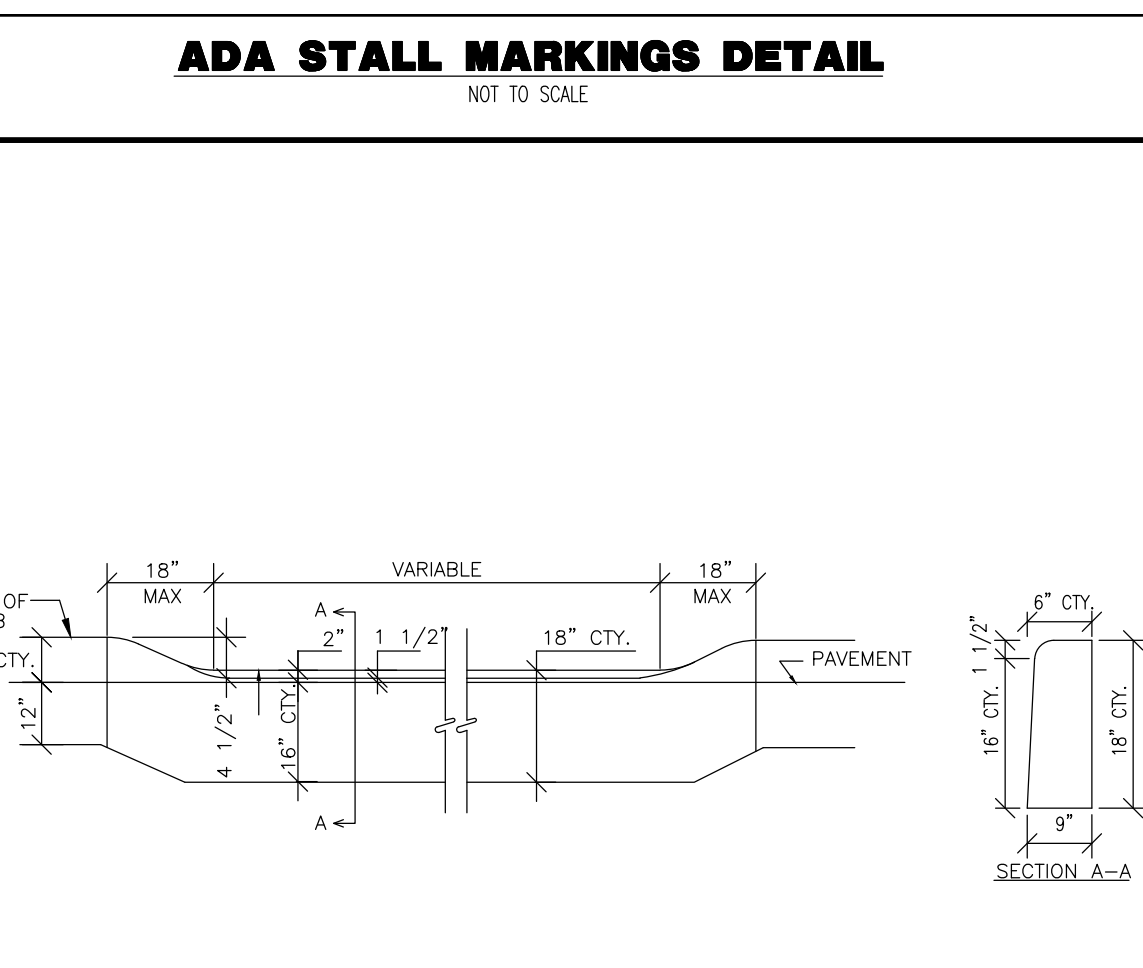
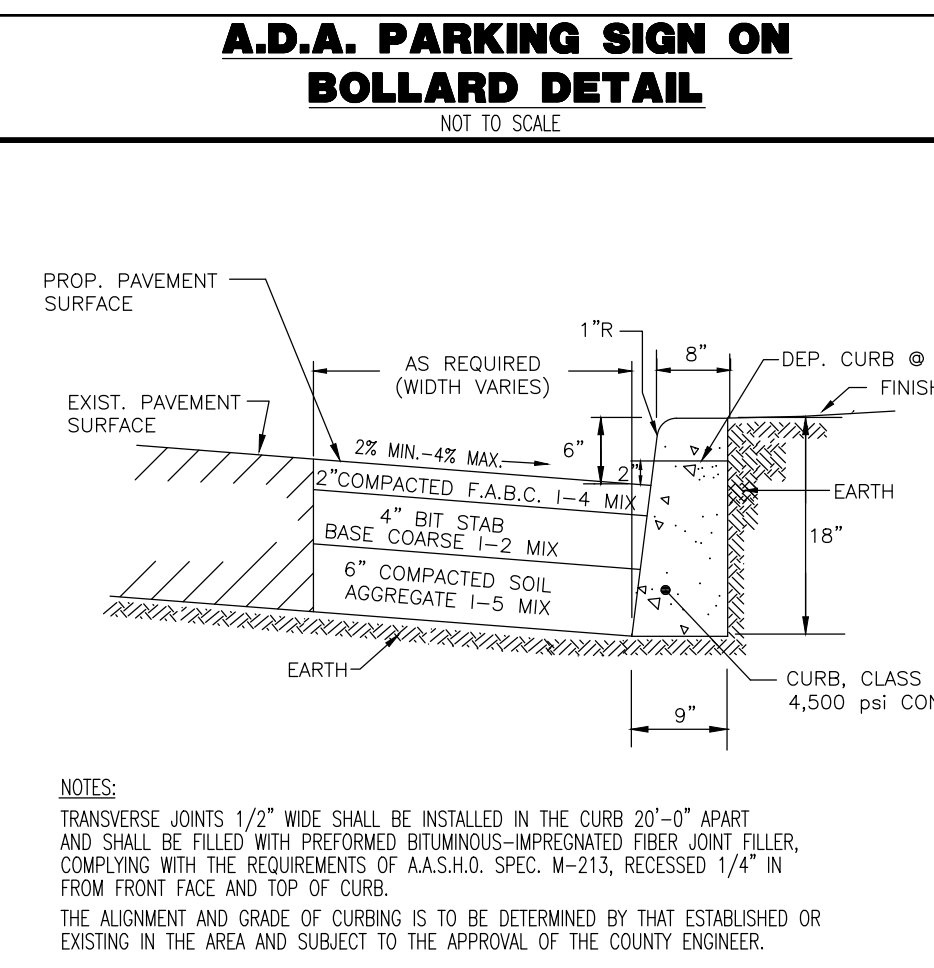
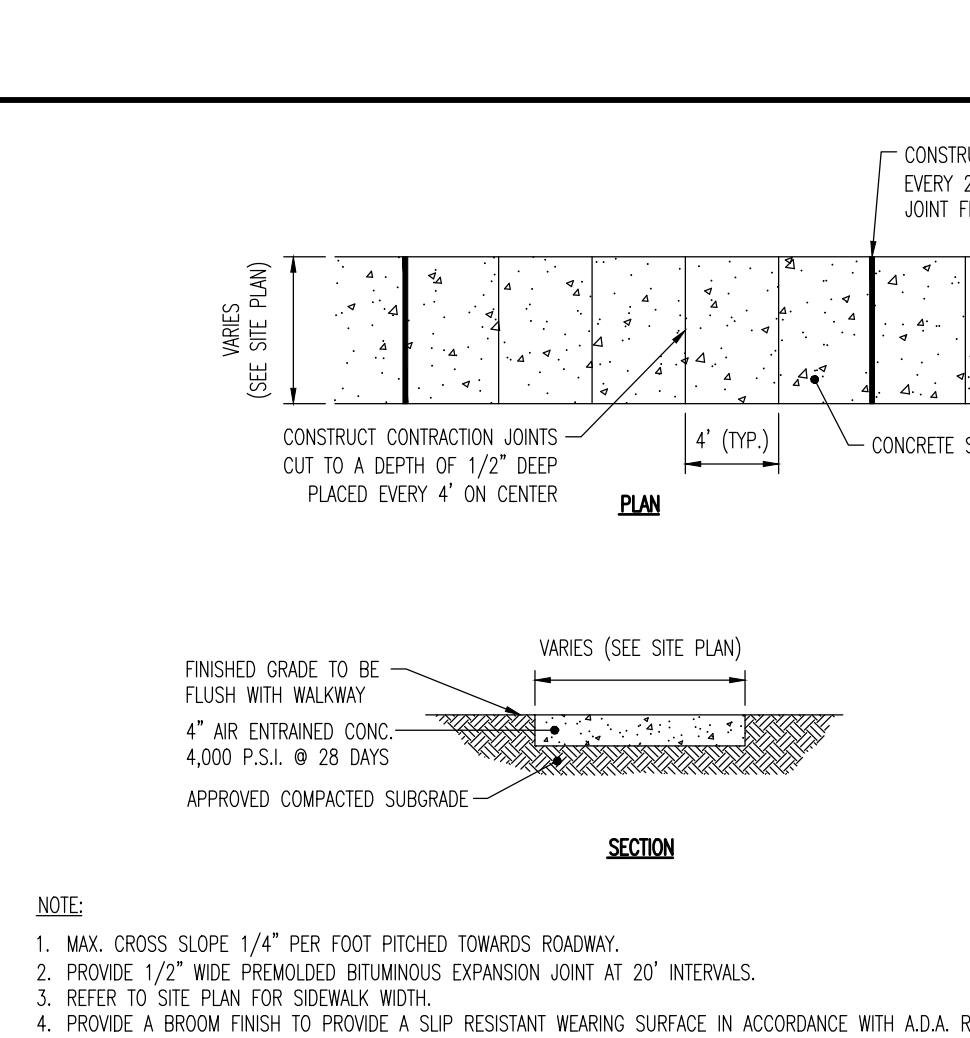
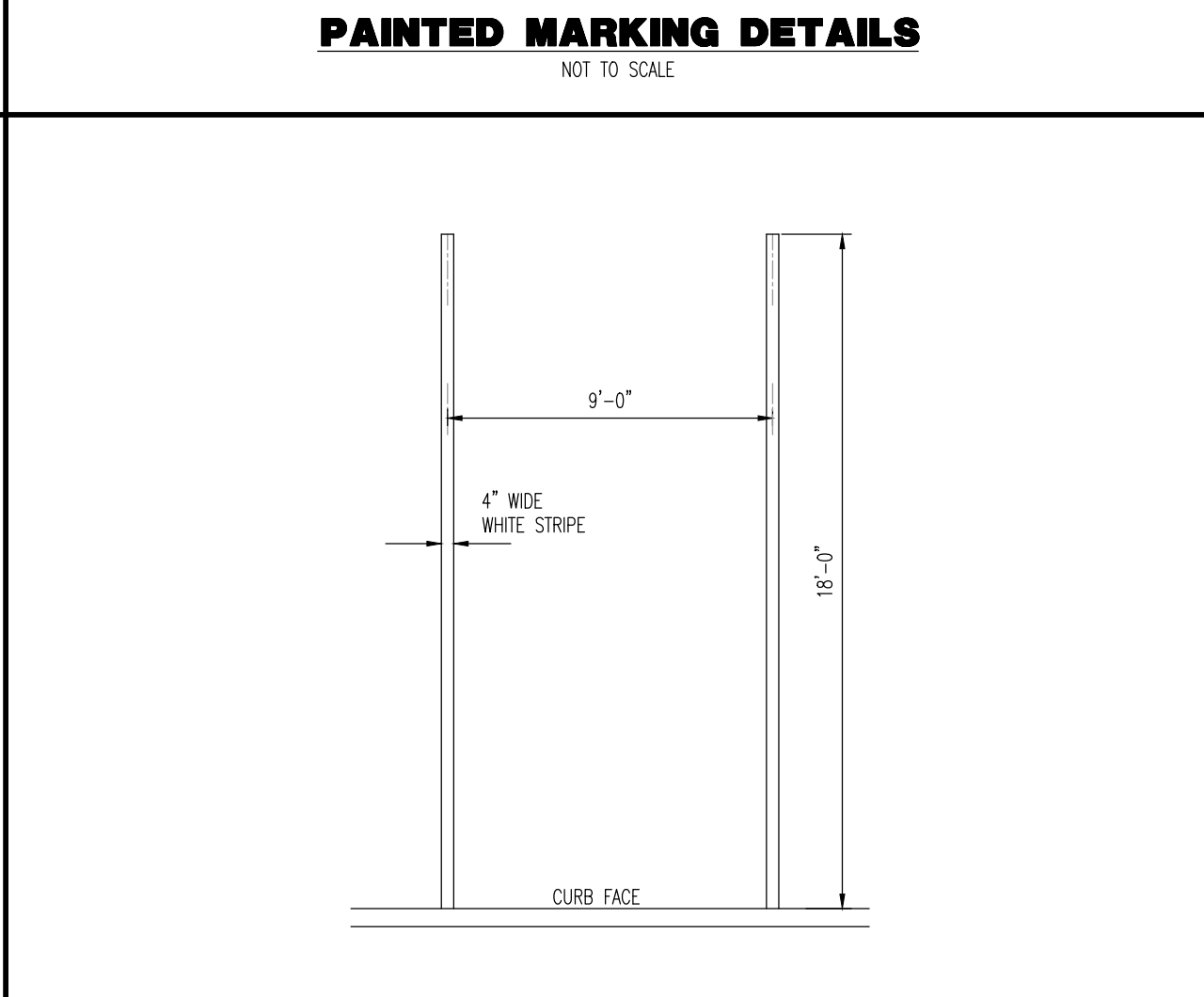
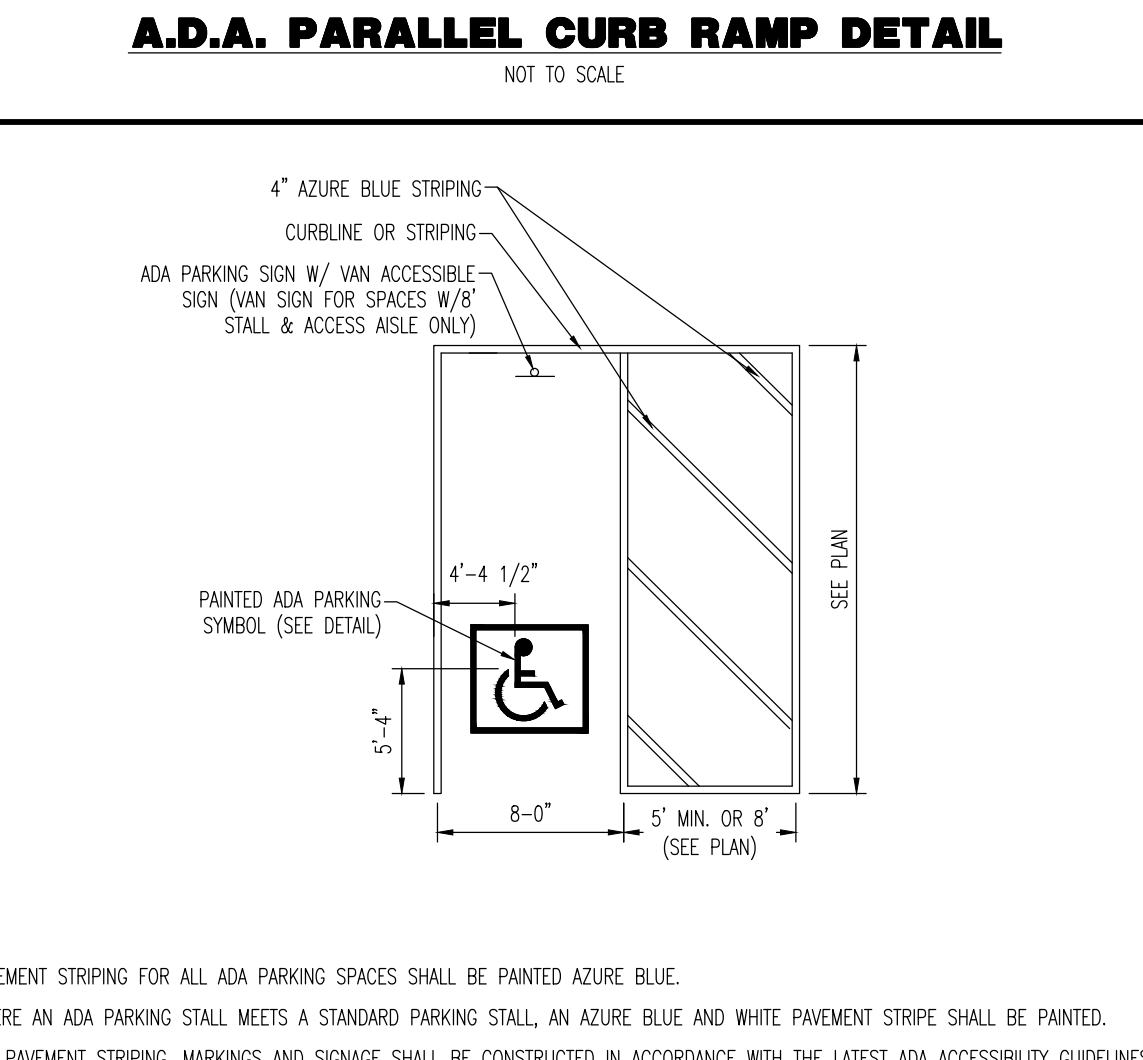
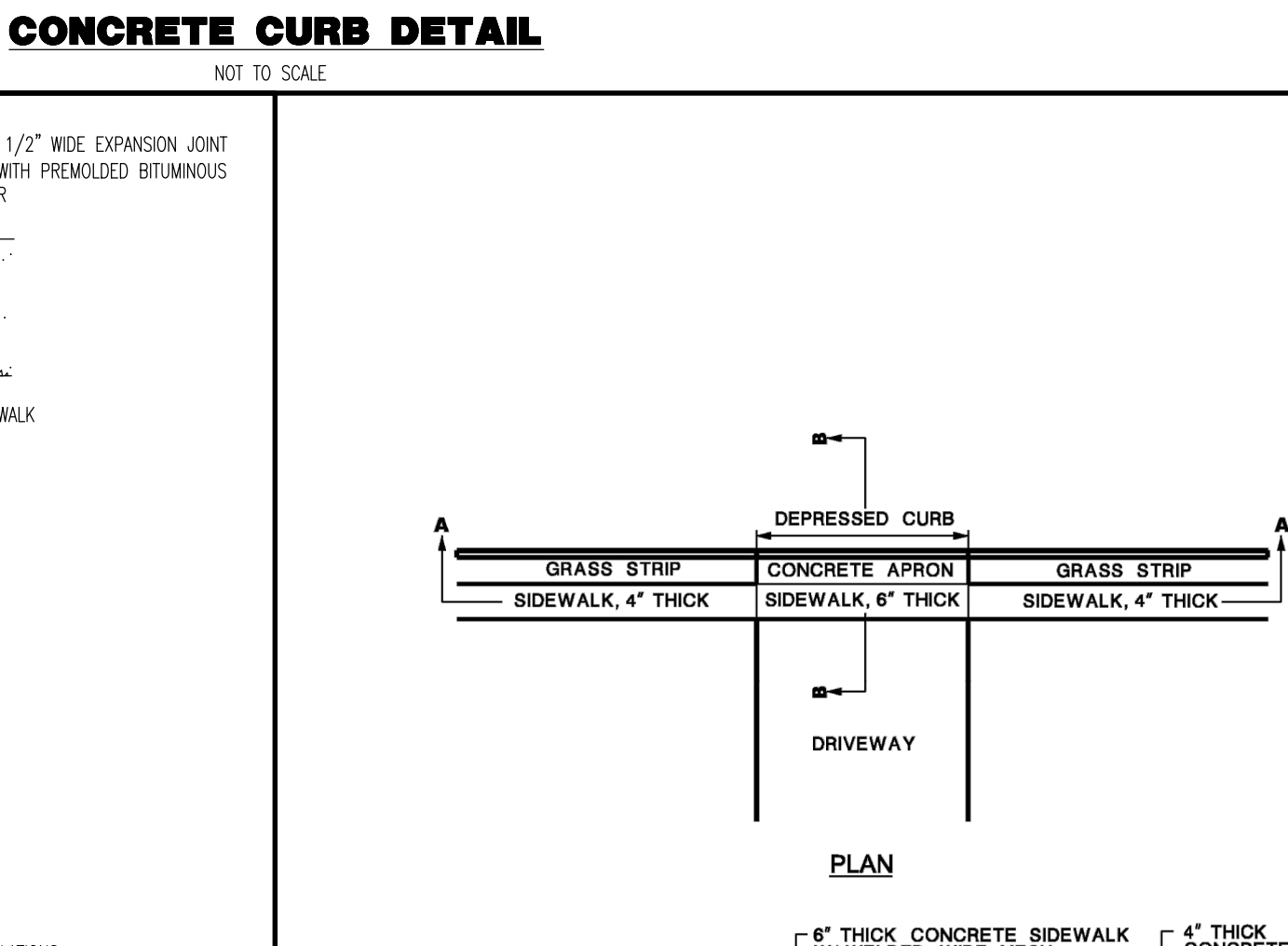
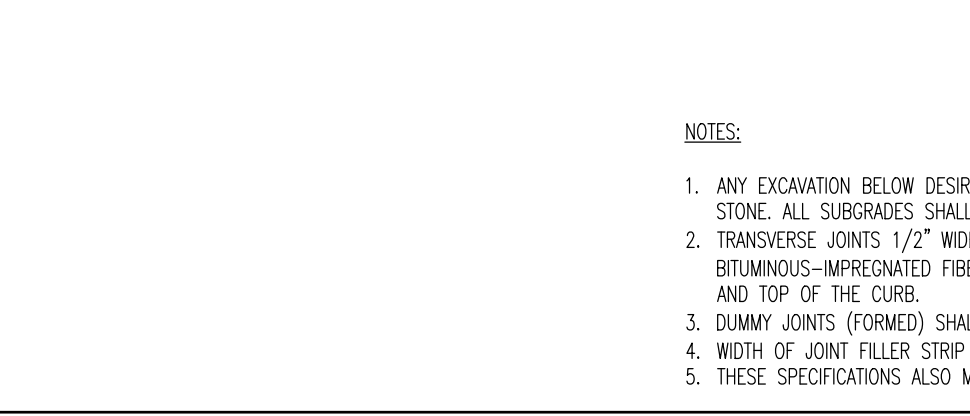
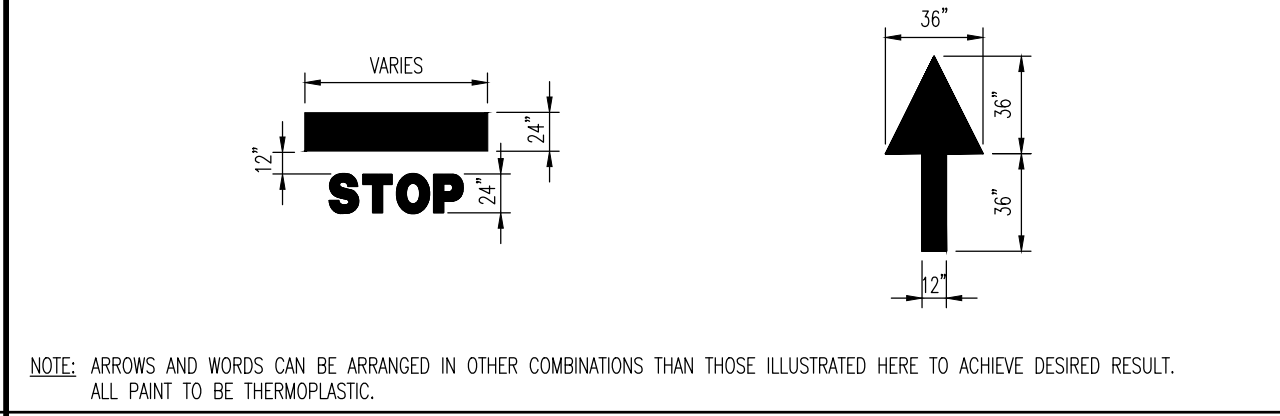
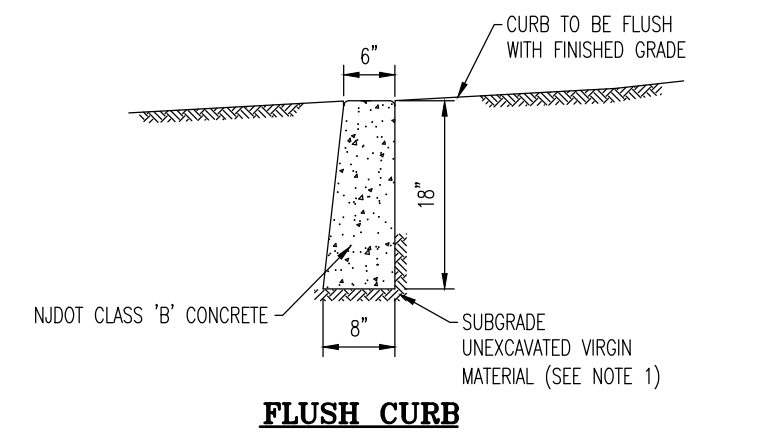
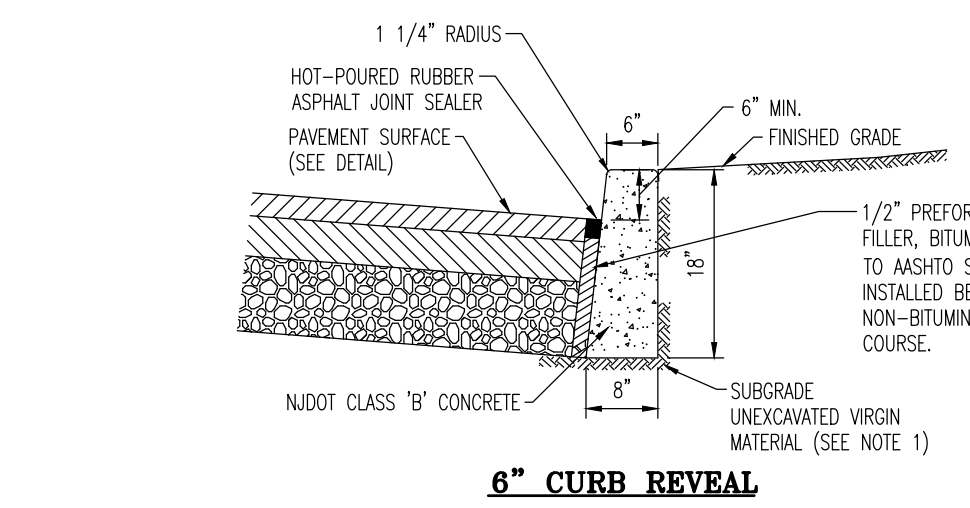
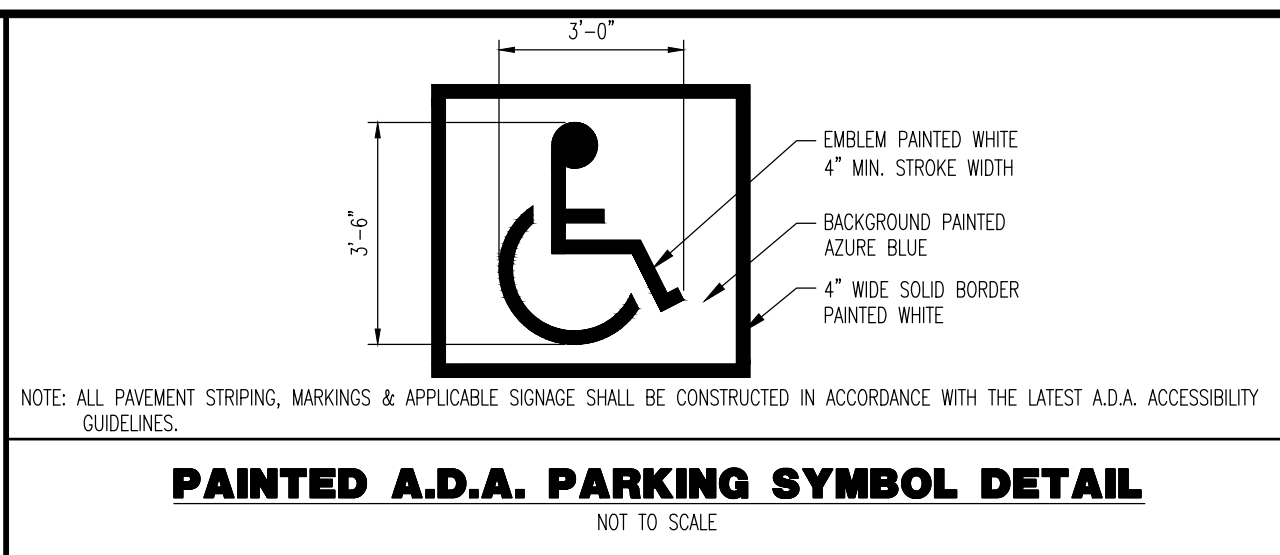
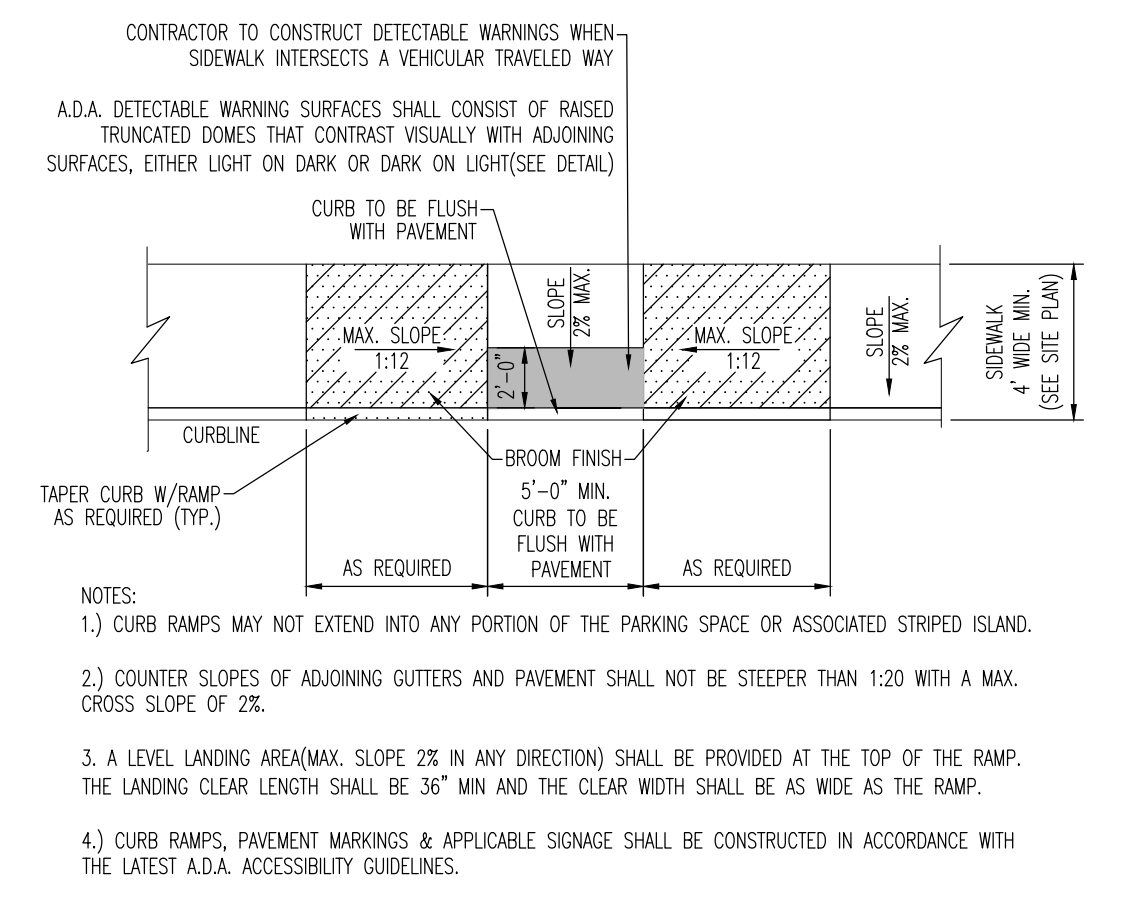
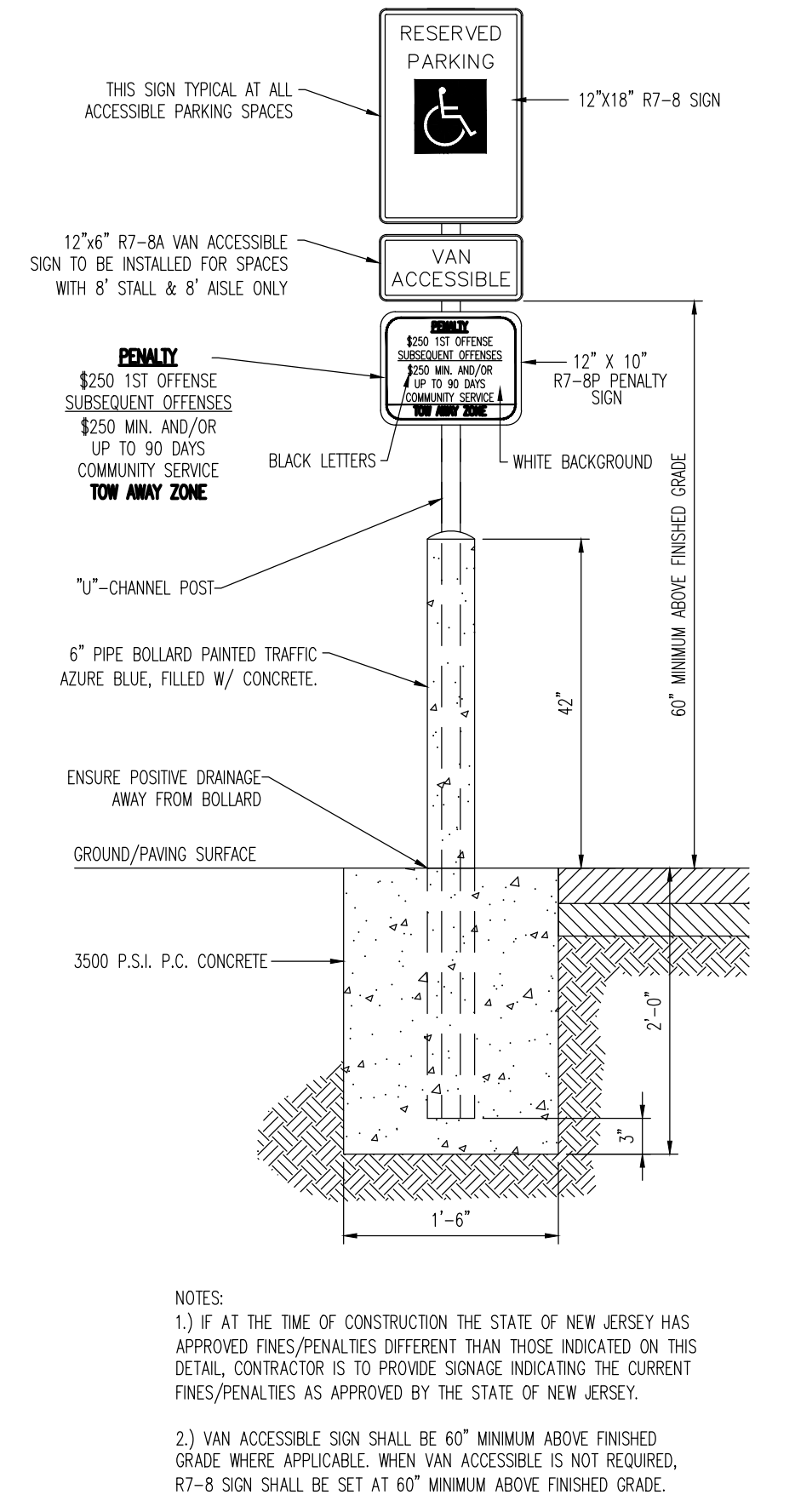
DOUGLAS GRYSKO

 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 45896

KYLE C. KAVINSKI

 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52985

10
 OF 13
 Rev. # 2



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TITLE: **CONSTRUCTION DETAILS**

PROJECT: **NORTHSTAR CAPITAL, LLC**
PROPOSED MULTI-FAMILY RESIDENTIAL (POINT VIEW LUXURY APARTMENTS)
BLOCK 113, LOTS 41 & 43
842 & 850 ARNOLD AVE.
BOROUGH OF POINT PLEASANT, OCEAN COUNTY, NEW JERSEY

JOB No: 3639-99-001 DATE: 12/04/2020

DRAWN BY: KJH SCALE: (H) AS (V) SHOWN

DESIGNED BY: KCK SHEET No:

CHECKED BY: DG

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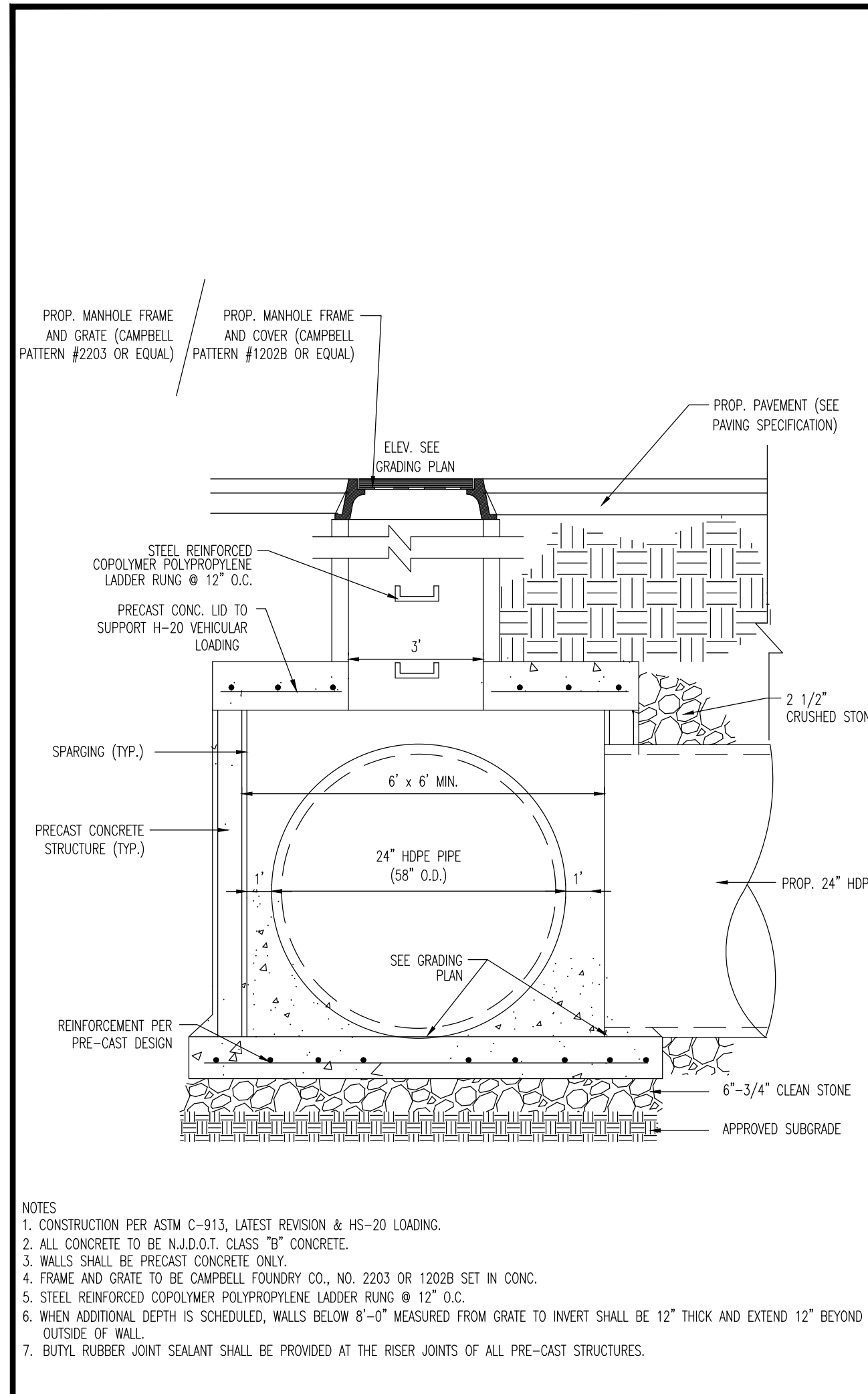
DOUGLAS GRYSKO
Professional Engineer
NEW JERSEY LICENSE No. 45896

KYLE C. KAVINSKI
Professional Engineer
NEW JERSEY LICENSE No. 52985

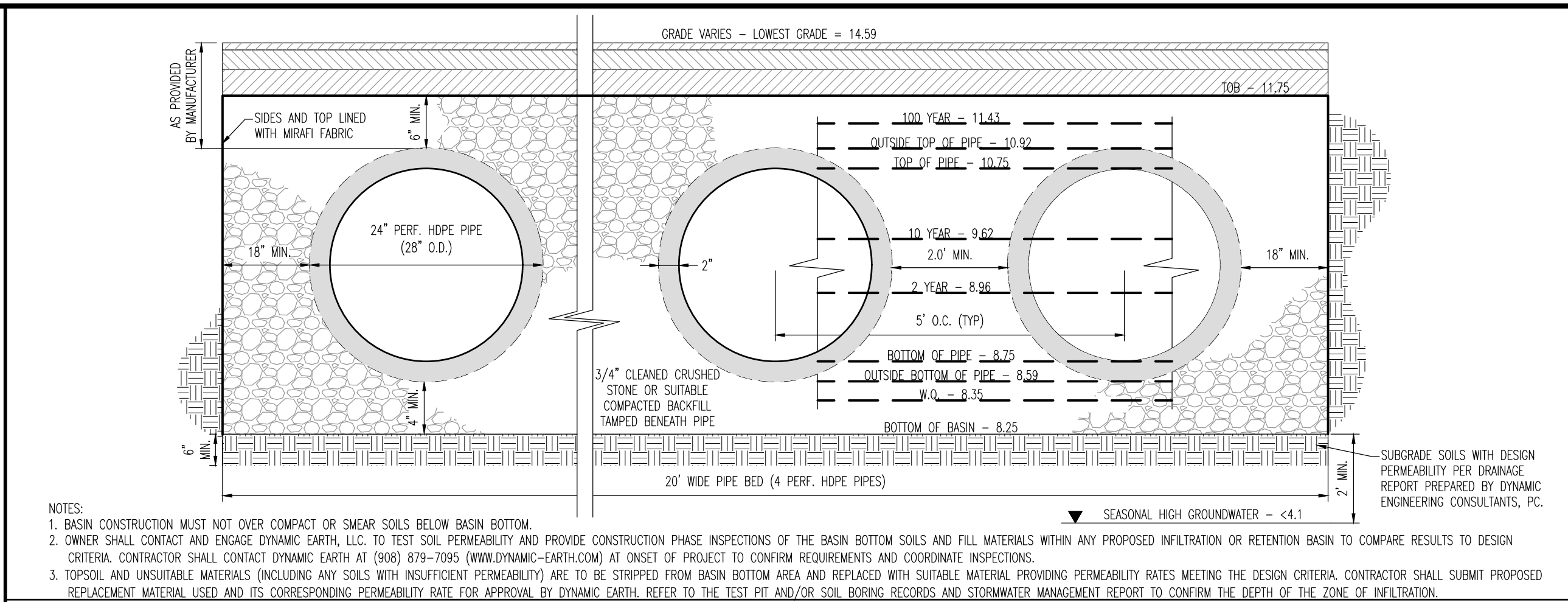
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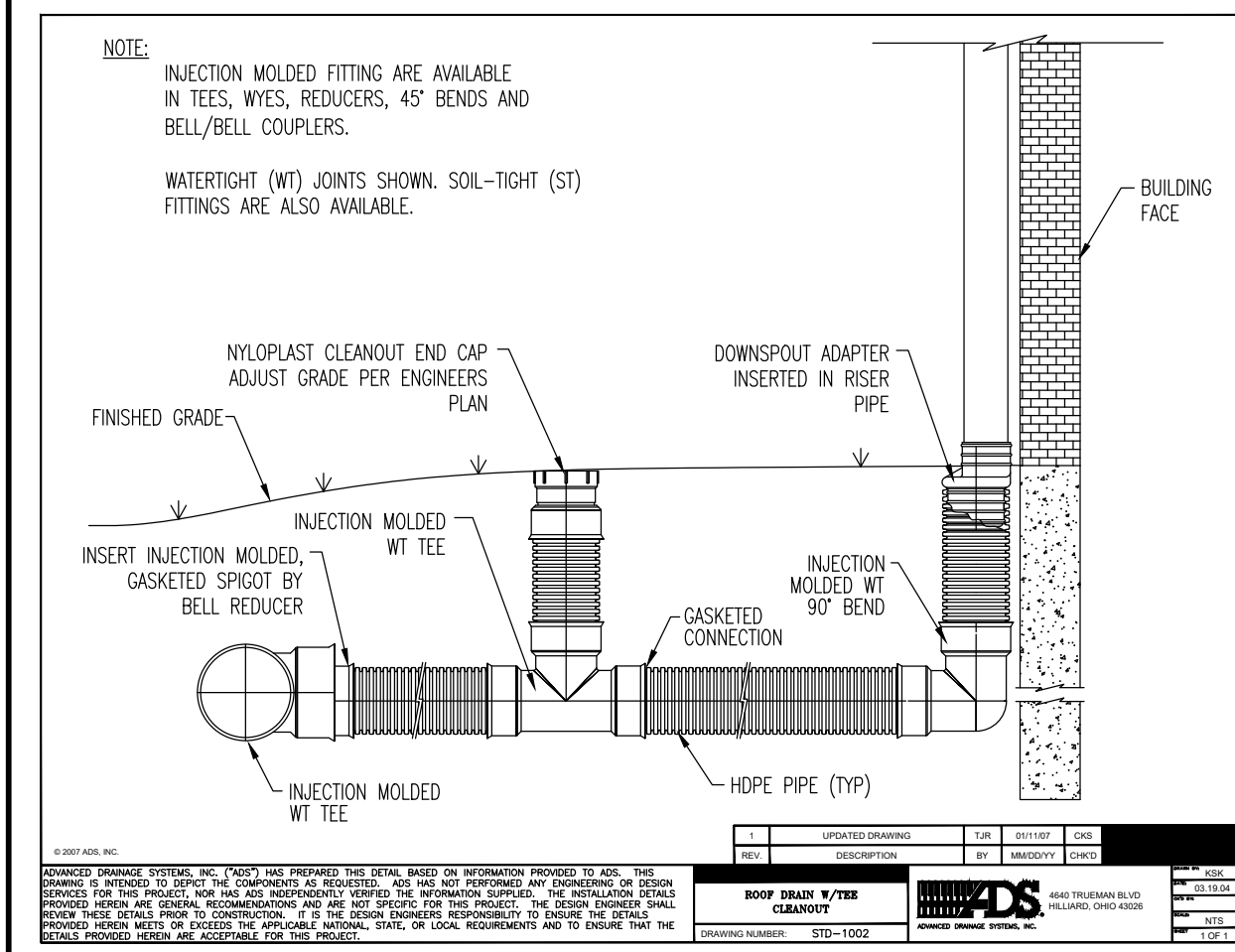
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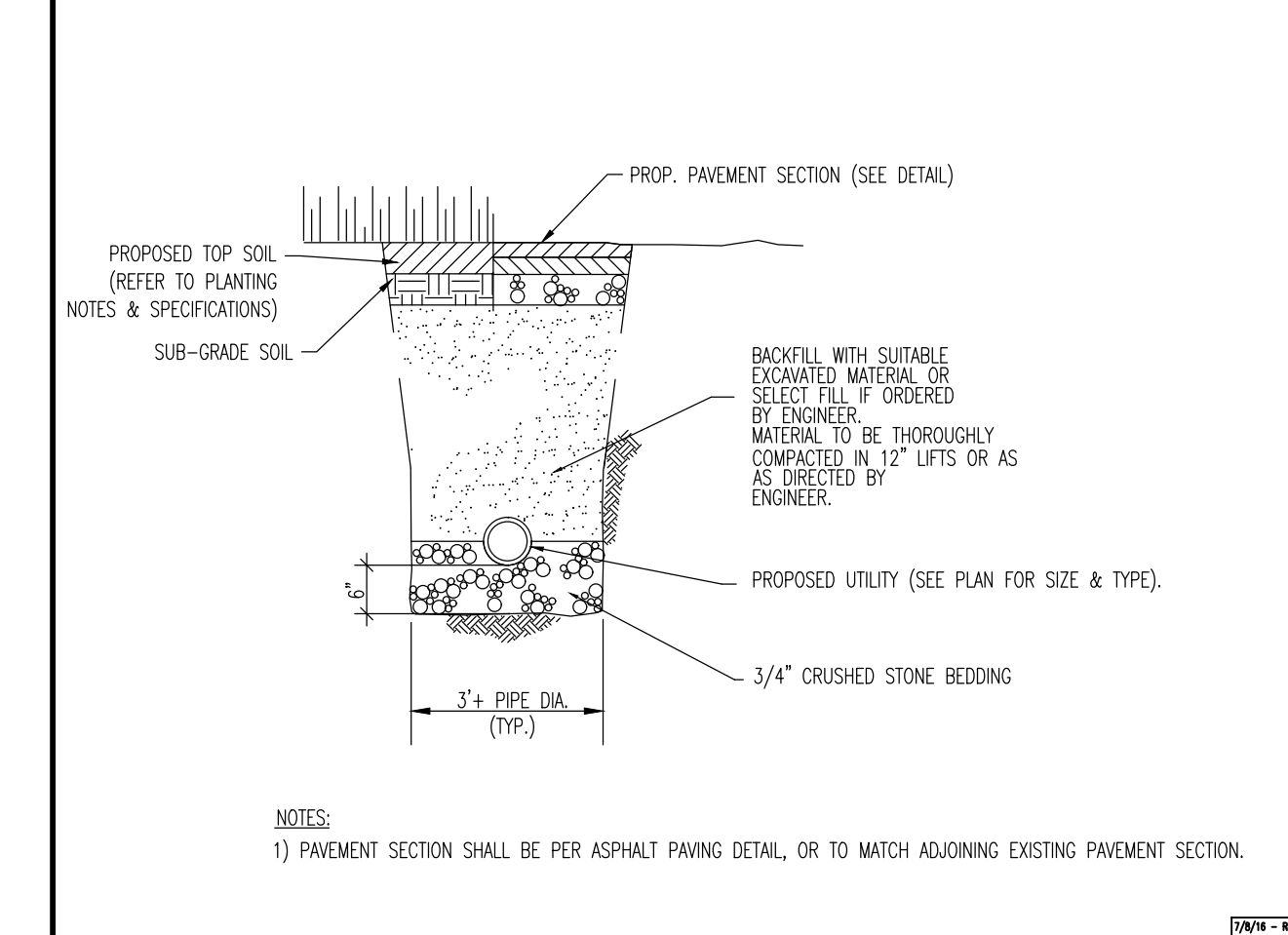
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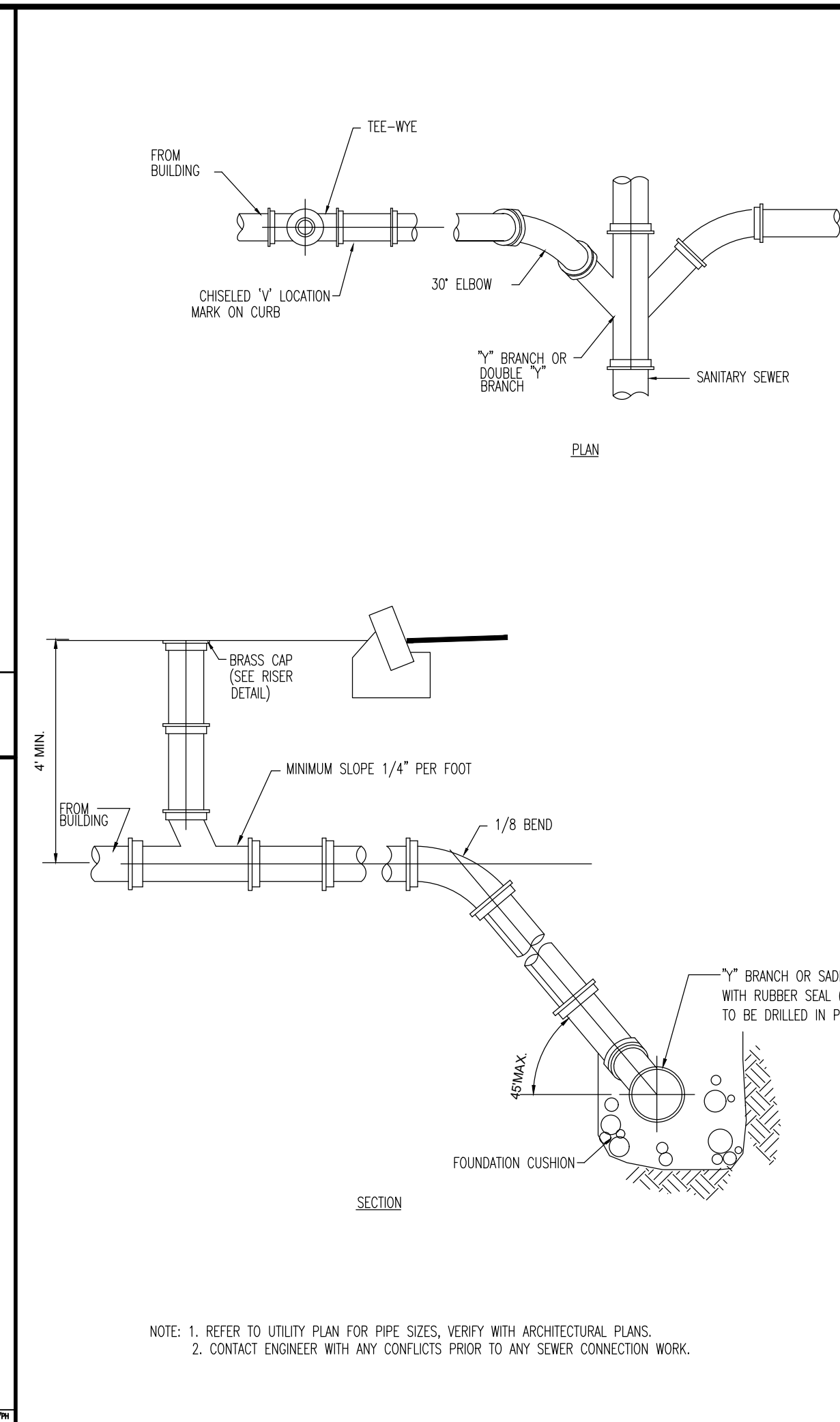
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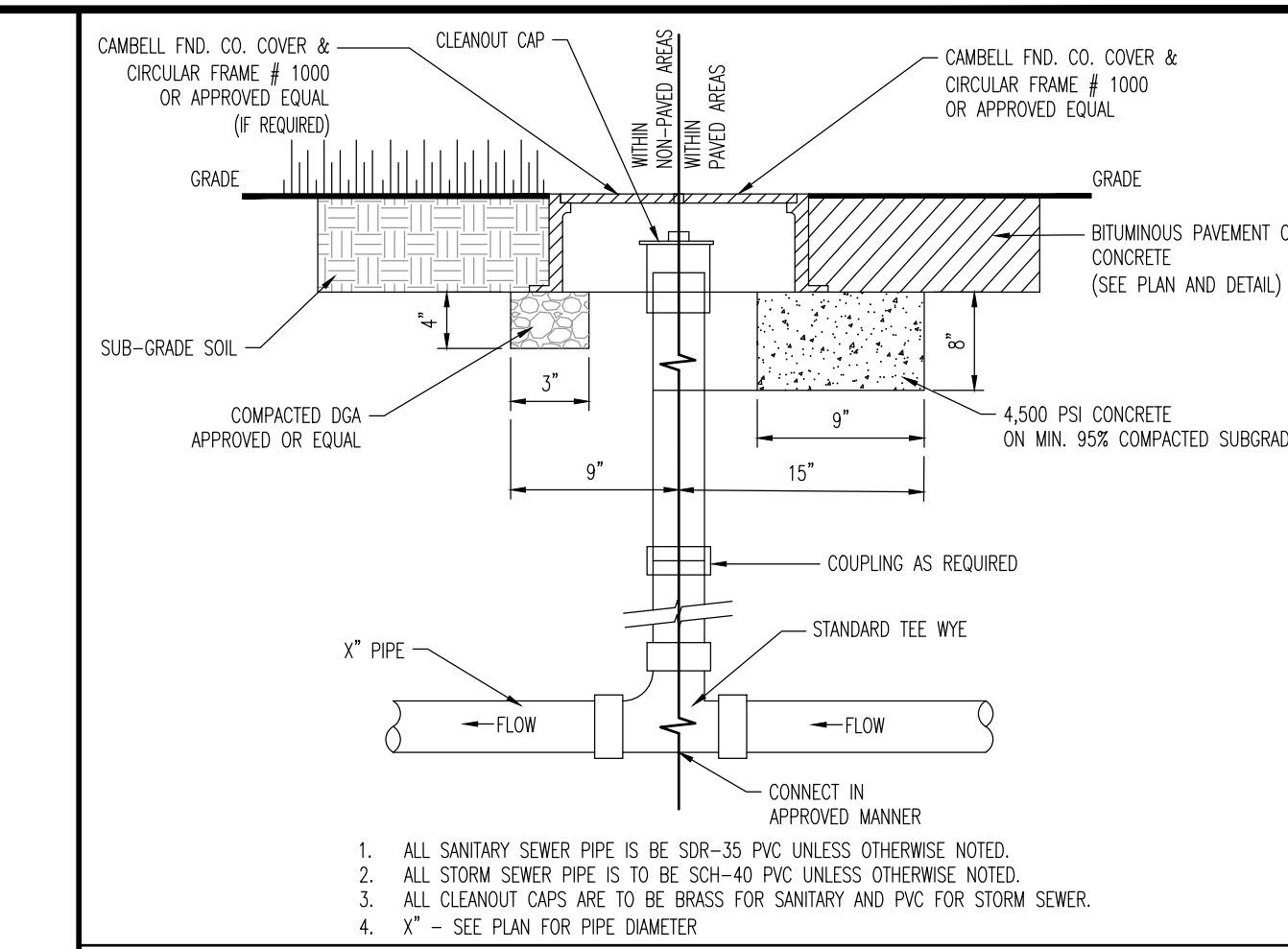
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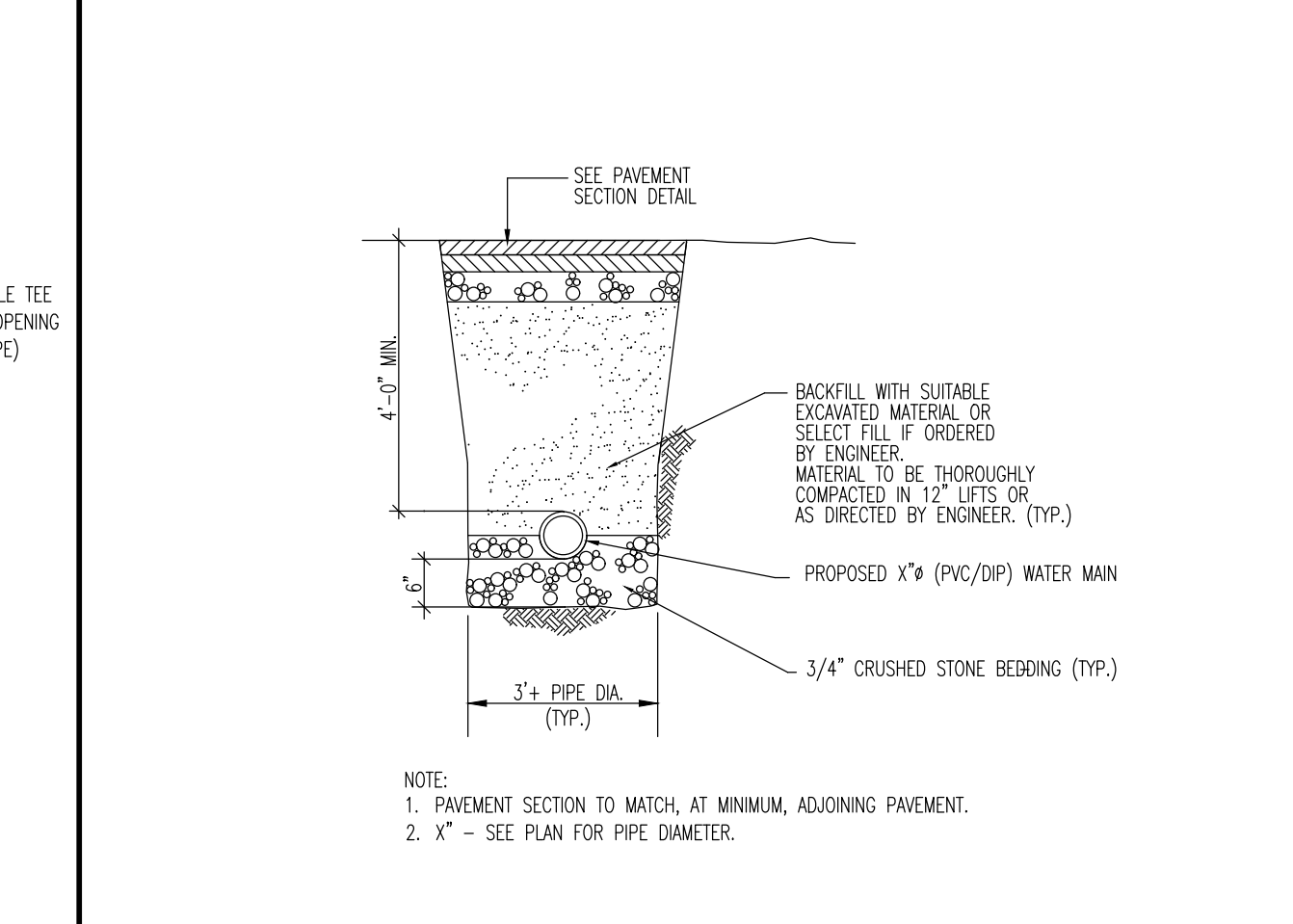
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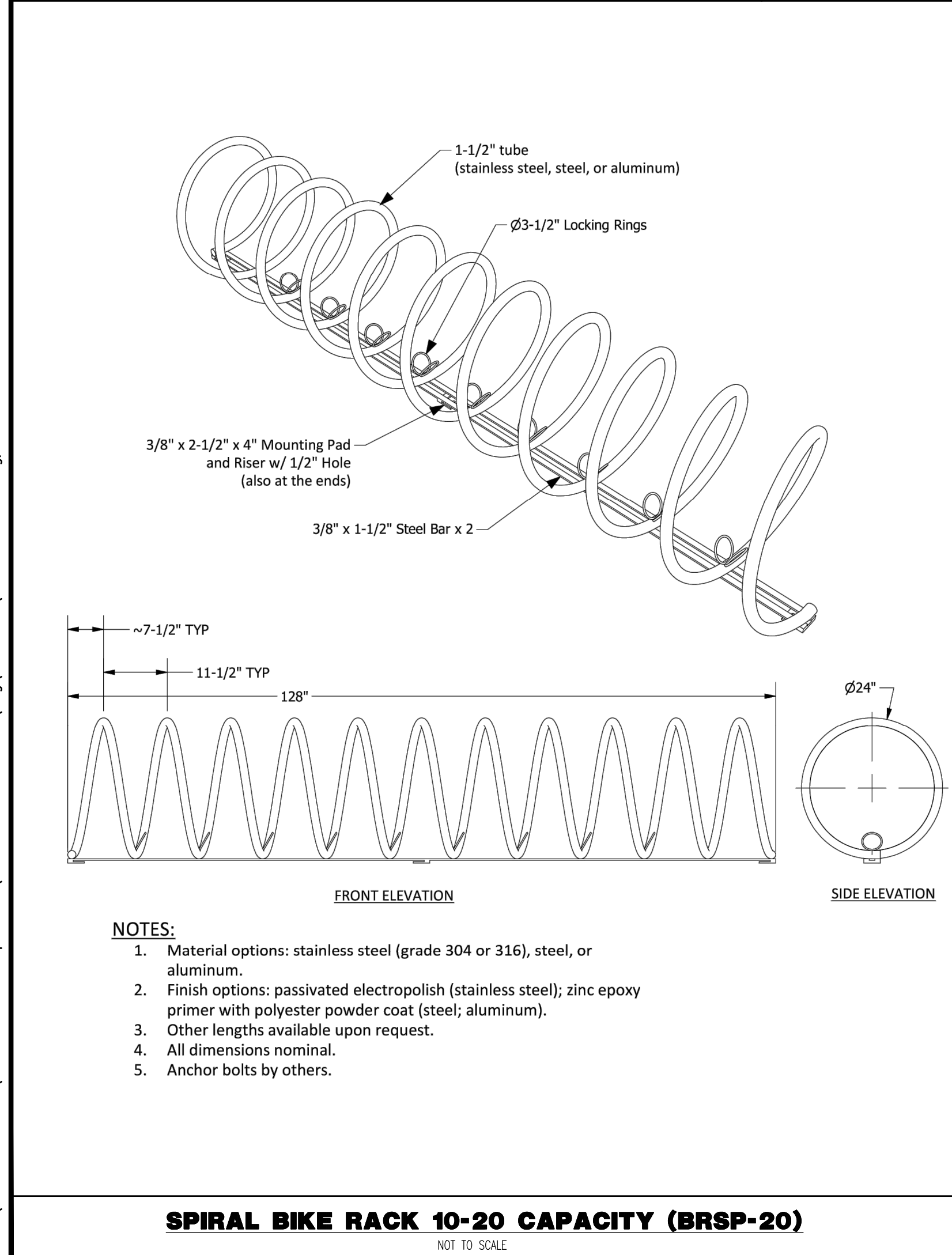
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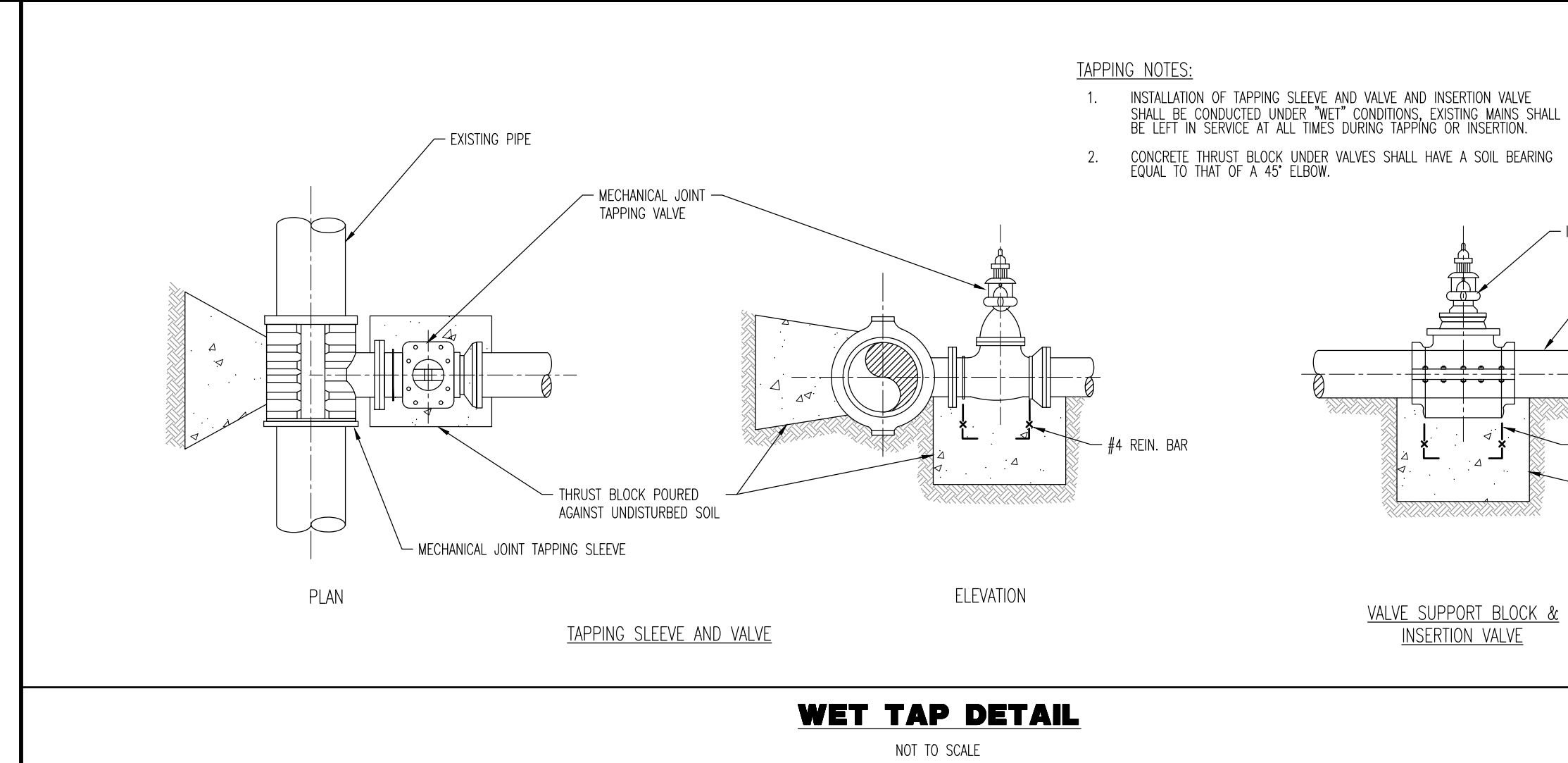
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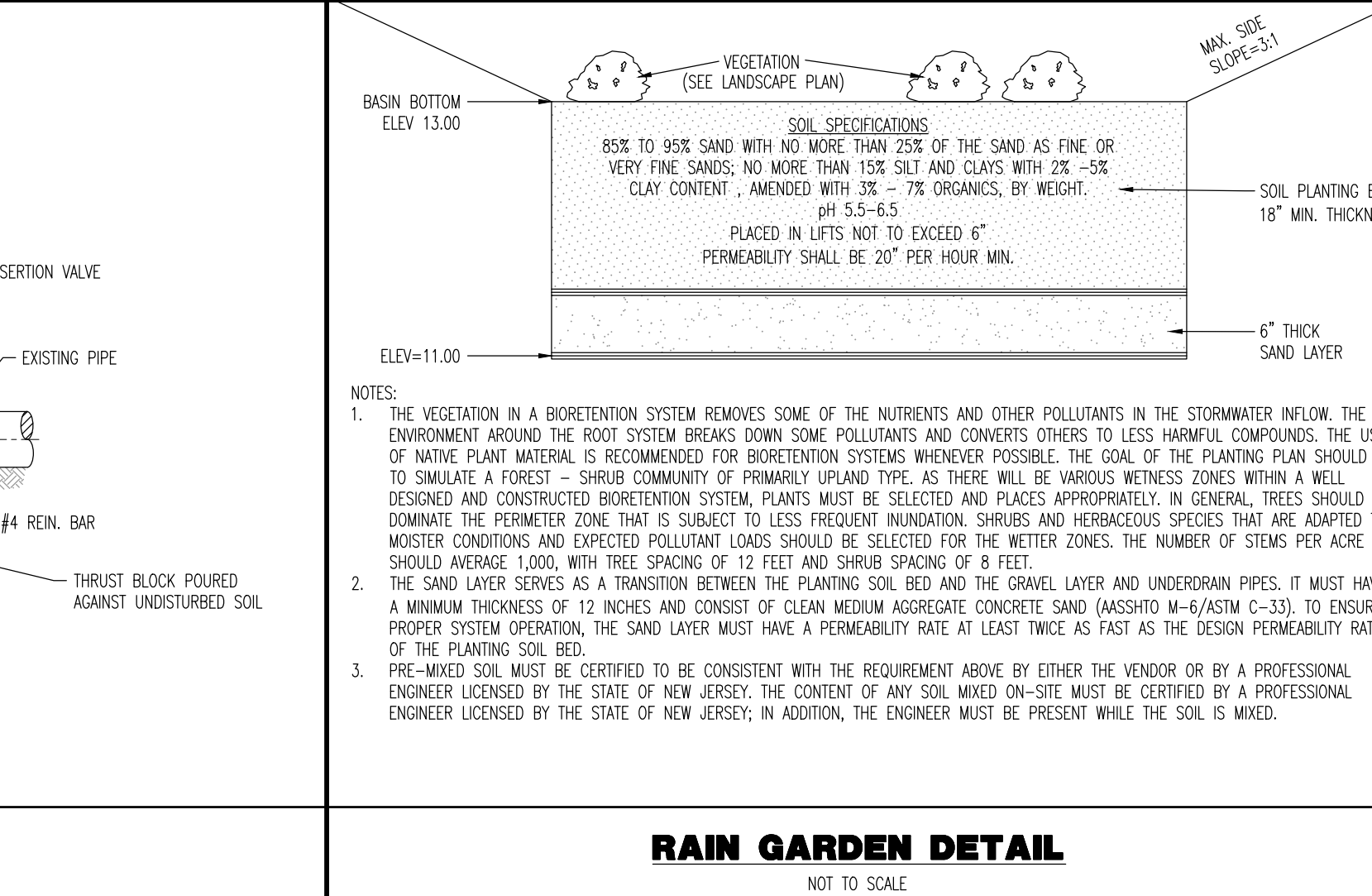
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SPIRAL BIKE RACK 10-20 CAPACITY (BRSP-20)
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WET TAP DETAIL
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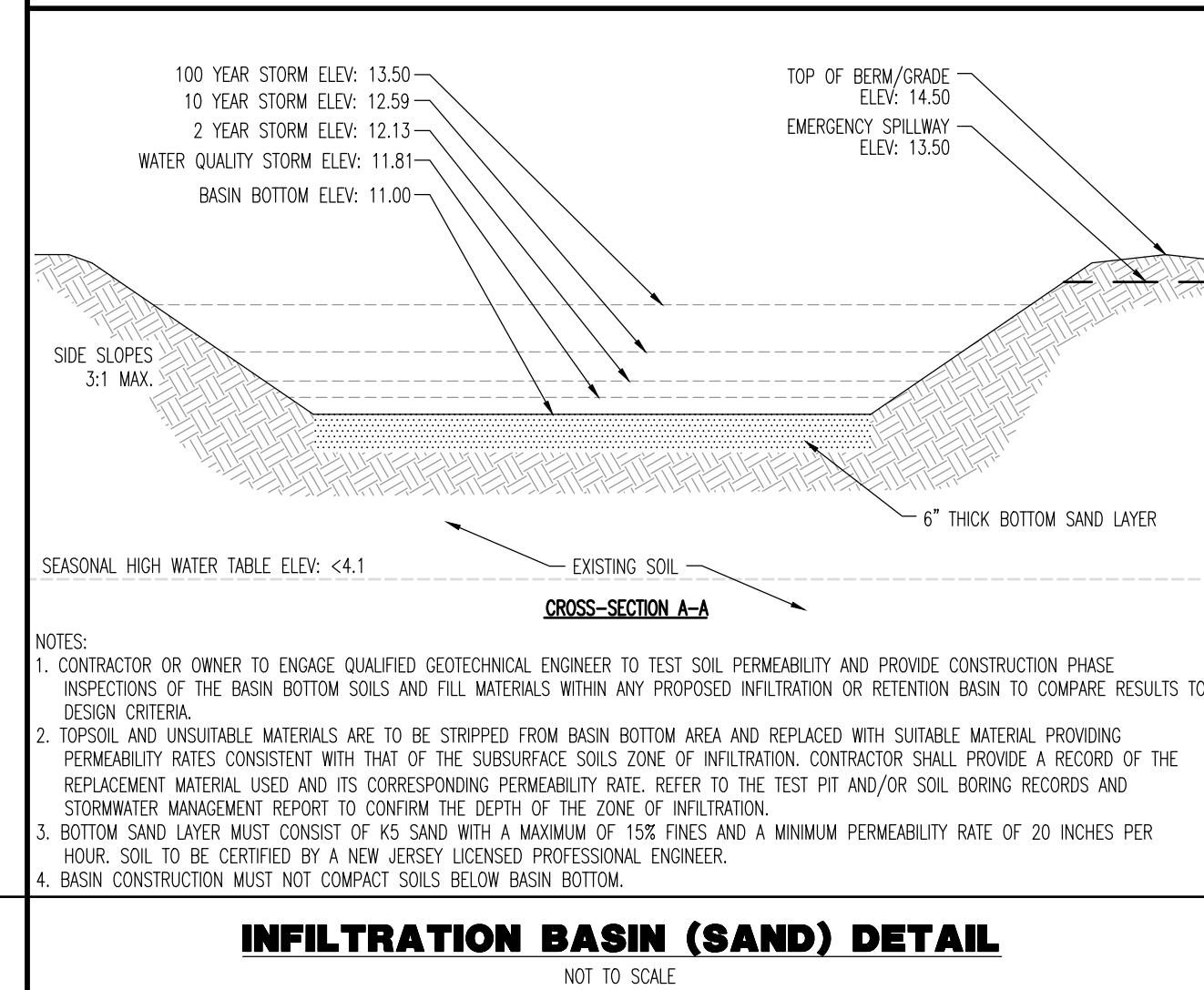


RAIN GARDEN DETAIL
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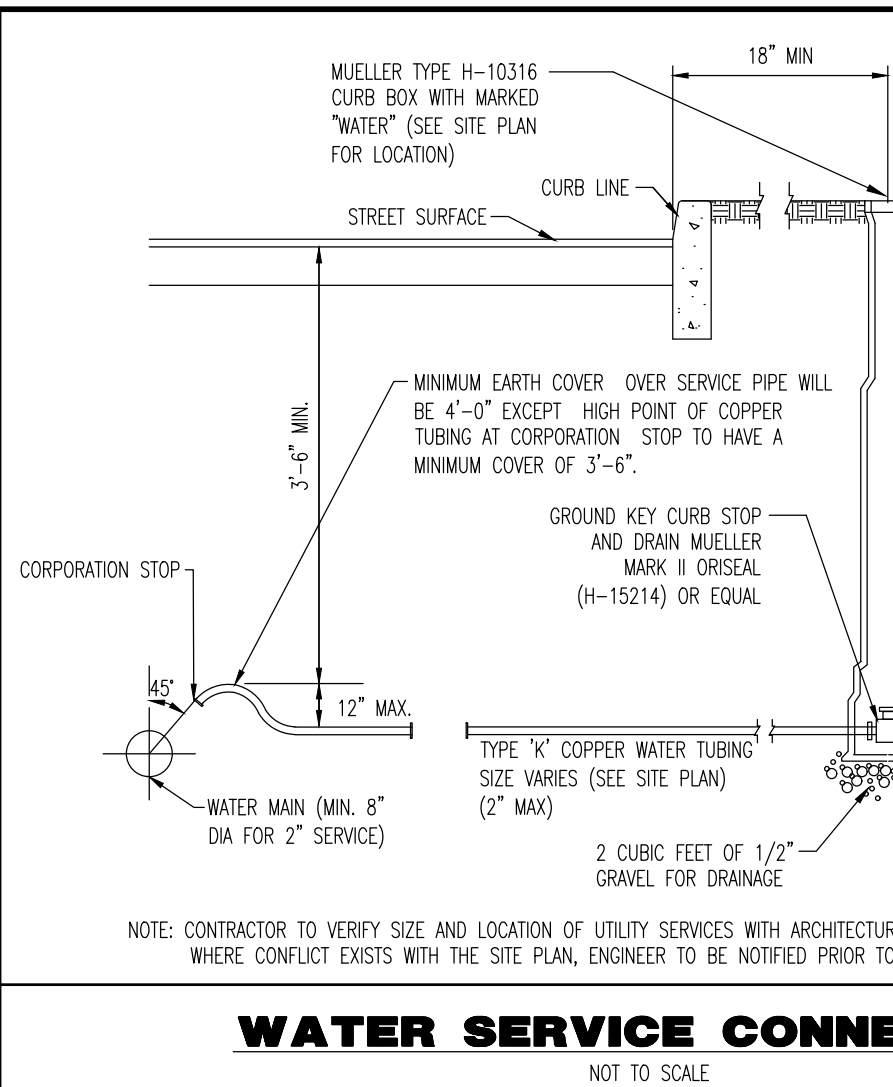
ERNST CONSERVATION SEEDS RAIN GARDEN MIX (ERNMX-180):

BOTANICAL NAME	COMMON NAME
33.4% SCHIZACHYRIUM SCOPARIUM, 'TASCA'	LITTLE BLUESTEM, 'TASCA'
20.0% ELYMUS VIRGINICUS	VIRGINIA WILDRICE
7.00% CAREX VILPANOEA	FOX SEDGE
5.60% CHASMANTHIUM LATIFOLIUM	RIVER OATS
5.50% ECHINACEA PURPUREA	PURPLE CONEFLOWER
3.00% CHAMAECRISTA FACICULATA	PARTRIDGE PEAS
3.00% COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS
3.00% PANICUM CLAUDESTINUM, TOGA	DEERTONGUE, TOGA
3.00% PANICUM RIGIDULUM	REEDTOP PANICGRASS
3.00% RUBICOLA HERTA	BLACKBECKED SUSAN
3.00% VERBENA HASTATA	BLUE VERVAIN
2.00% HELIOPSIS HELIANTHOIDES	OXEYE SUNFLOWER
1.80% ACHILLEA MIEDEMAE	SIBIRIAN MILKWORT
1.00% CAREX SCOPARIA	BLUNT BROOM SEDGE
1.00% SENNA HEBCARPA	WILD SENNA
0.70% PINNATHAMNUS TENUIFOLIUM	NARROWLEAF MOUNTAINMINT
0.50% ASTER NOIRE-ANGULA	NEW ENGLAND ASTER
0.50% ASTER PRENANTHOIDES	ZIGZAG ASTER
0.50% BAPTISA AUSTRALIS	BLUE FALSE INDIGO
0.50% ZIZA AUREA	COLEEN ALEXANDERS
0.40% MONARDA FISTULOSA, FORT INDIANTOWN GAP	WILD BERGAMOT, FORT INDIANTOWN GAP
0.30% HELENUM AUTUMNALE	COMMON SNEEZEWEED
0.30% JUNCUS TENAX	PATH RUSH
0.20% EUPATORIUM PERFLUATUM	BORNET
0.20% JUNCUS EFFUSUS	SOFT RUSH
0.20% CENOTHERA FRUTICOSA VAR. FRUTICOSA	SUNDRIPS
0.20% SOLIDAGO NEOMURALIS	GRAY GOLDENROD
0.20% SOLIDAGO RUICOSA	WINKLELEAF GOLDENROD
100%	

SEEDING RATE: 20 LB PER ACRE WITH A COVER CROP OF GRASS RYE AT 30 LB PER ACRE.



INFILTRATION BASIN (SAND) DETAIL
NOT TO SCALE



WATER SERVICE CONNECTION
NOT TO SCALE

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

1900 Main Street, Lake Como, NJ 07719 T: 732.974.0198 F: 732.974.3521 | 245 Main Street, Suite 110, Chester, NJ 07930 T: 908.879.9229 F: 908.879.0222
1301 Central Expressway South, Suite 210, Allen, TX 75013 T: 732.974.2100 | 14021 Oak Grove Road, Suite 200, Houston, TX 77079 T: 281.789.4400

CONSTRUCTION DETAILS

PROJECT: **NORTHSTAR CAPITAL, LLC**
PROPOSED MULTI-FAMILY RESIDENTIAL (FRONT VIEW LUXURY APARTMENTS)
BLOCK 113, LOTS 41 & 43
842 & 850 ARNOLD AVE.
BOROUGH OF POINT PLEASANT, OCEAN COUNTY, NEW JERSEY

JOB No: 3639-99-001 | DATE: 12/04/2020
DRAWN BY: KJH | SCALE: (H) AS (V) SHOWN
DESIGNED BY: KCK
CHECKED BY: DG
CHECKED BY: -

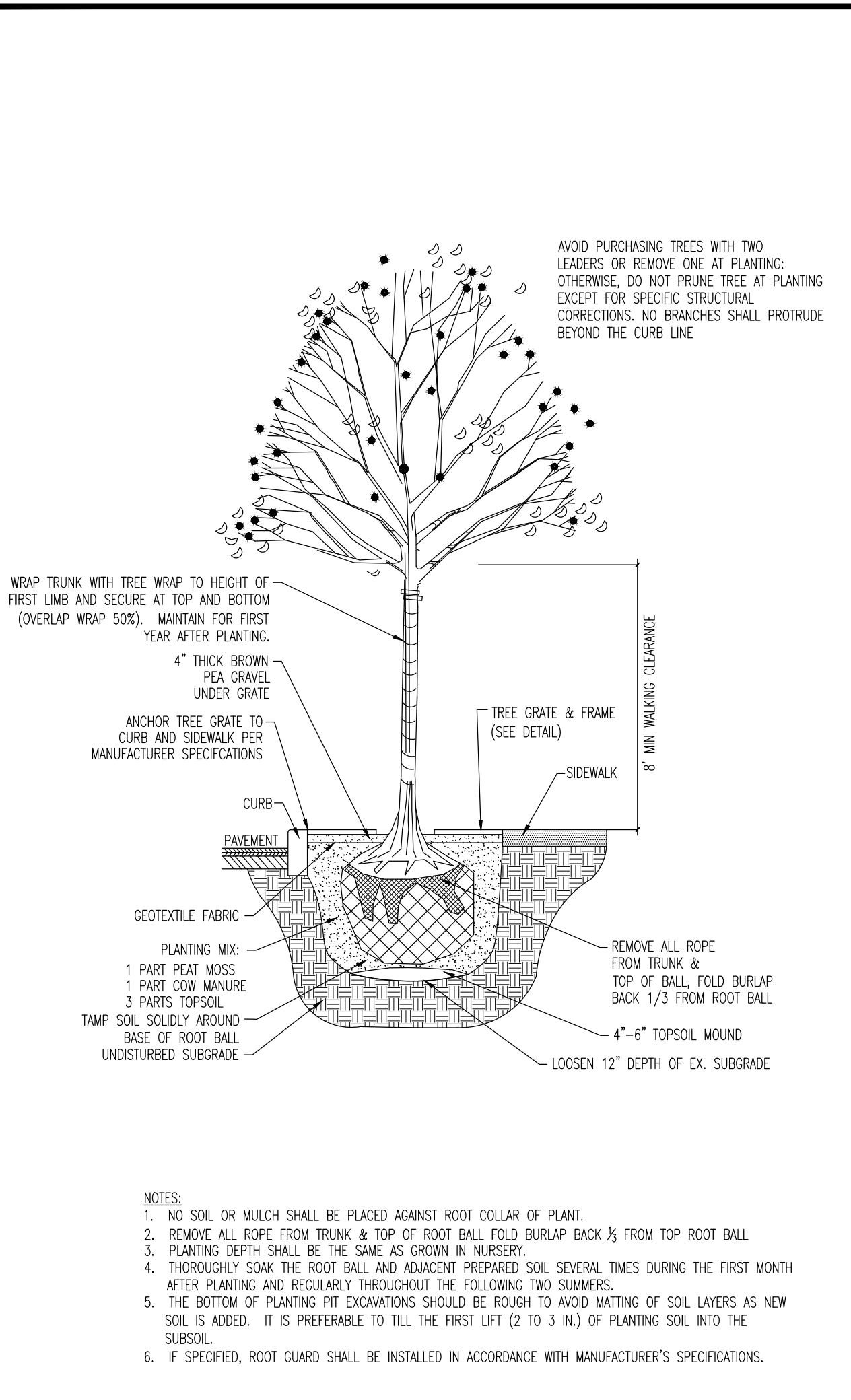
DOUGLAS GRYSKO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 45896

KYLE C. KAVINSKI
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52985

811 PROTECT YOURSELF
ALL UTILITIES REQUIRE LOCATION BY GEOTECHNICAL ENGINEER OR OTHER PERSON TRAINED TO OPERATE THE SYSTEM'S SERVICE LINES. A 3-DAY NOTICE PERIOD IS REQUIRED FOR ALL UTILITIES. FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

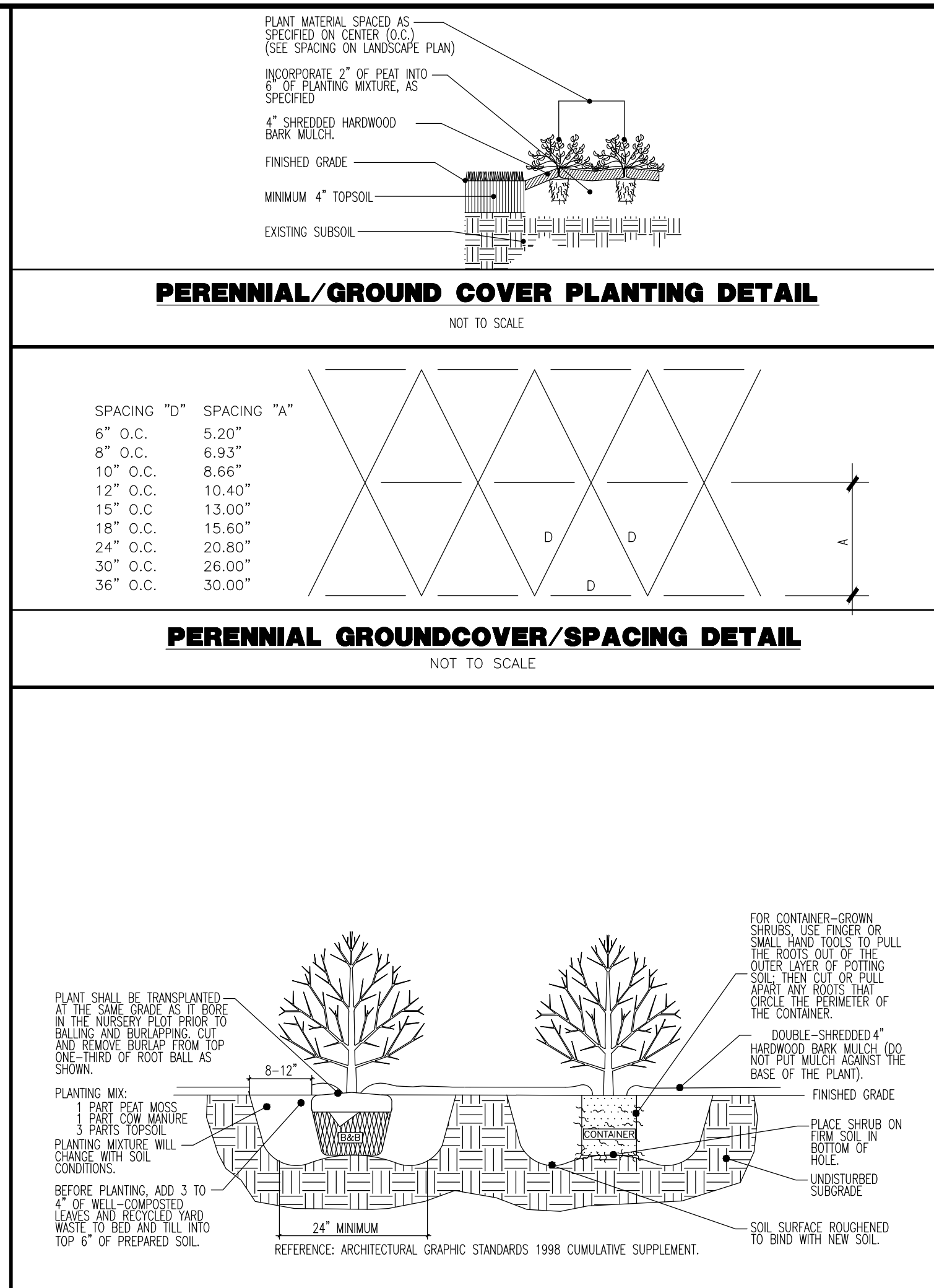
12
Of 13
Rev. # 2

Product Ver: 24.0a (LMS Tech)
File: P:\VCEPC PROJECTS\3639 NorthStar Capital LLC\99-001 Point Pleasant\DWG\Site Plans\363999001SD2.dwg, ---> 12 CONSTRUCTION DETAILS



STREET TREE PLANTING DETAIL

NOT TO SCALE

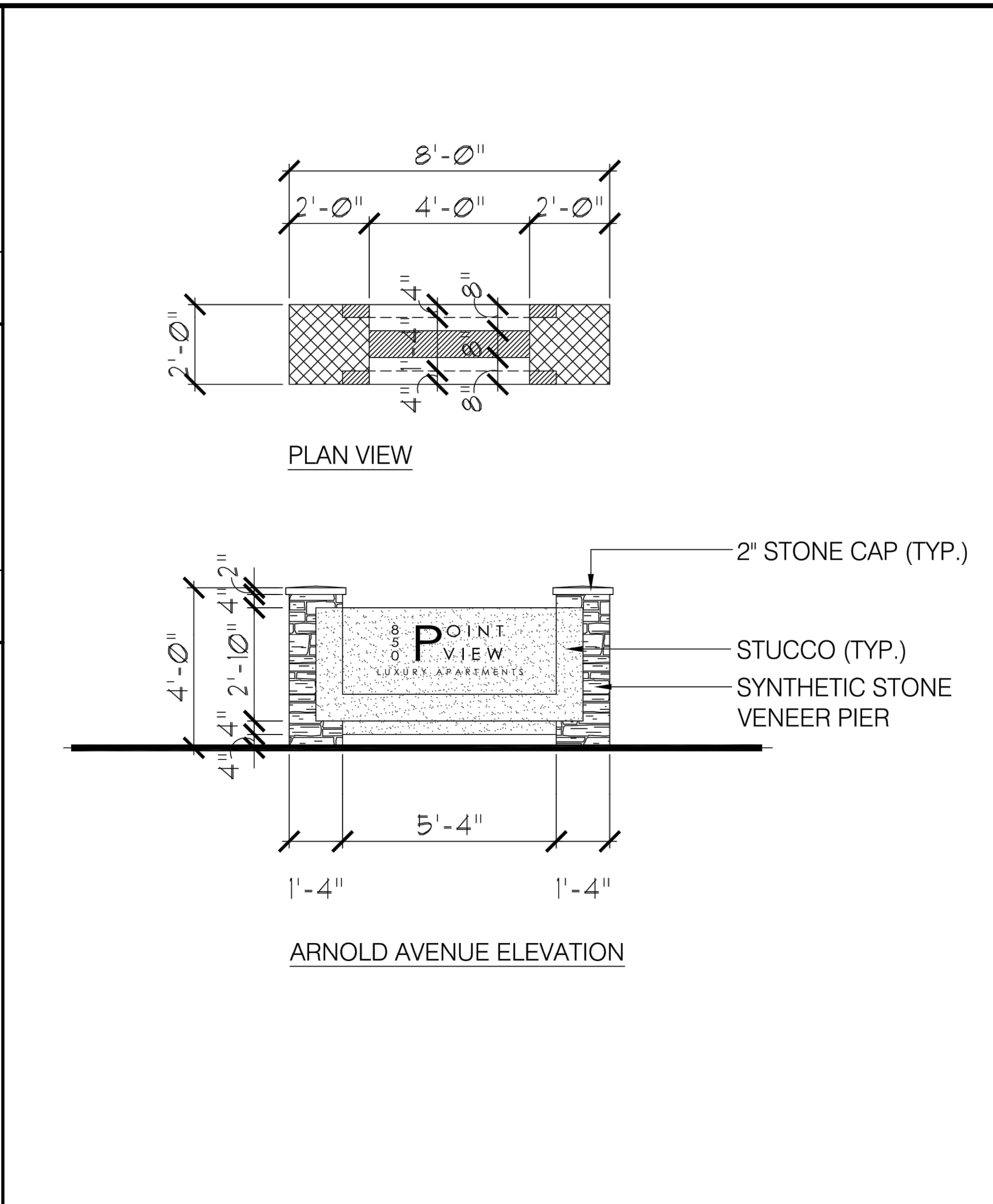


PERENNIAL/GROUND COVER PLANTING DETAIL

NOT TO SCALE

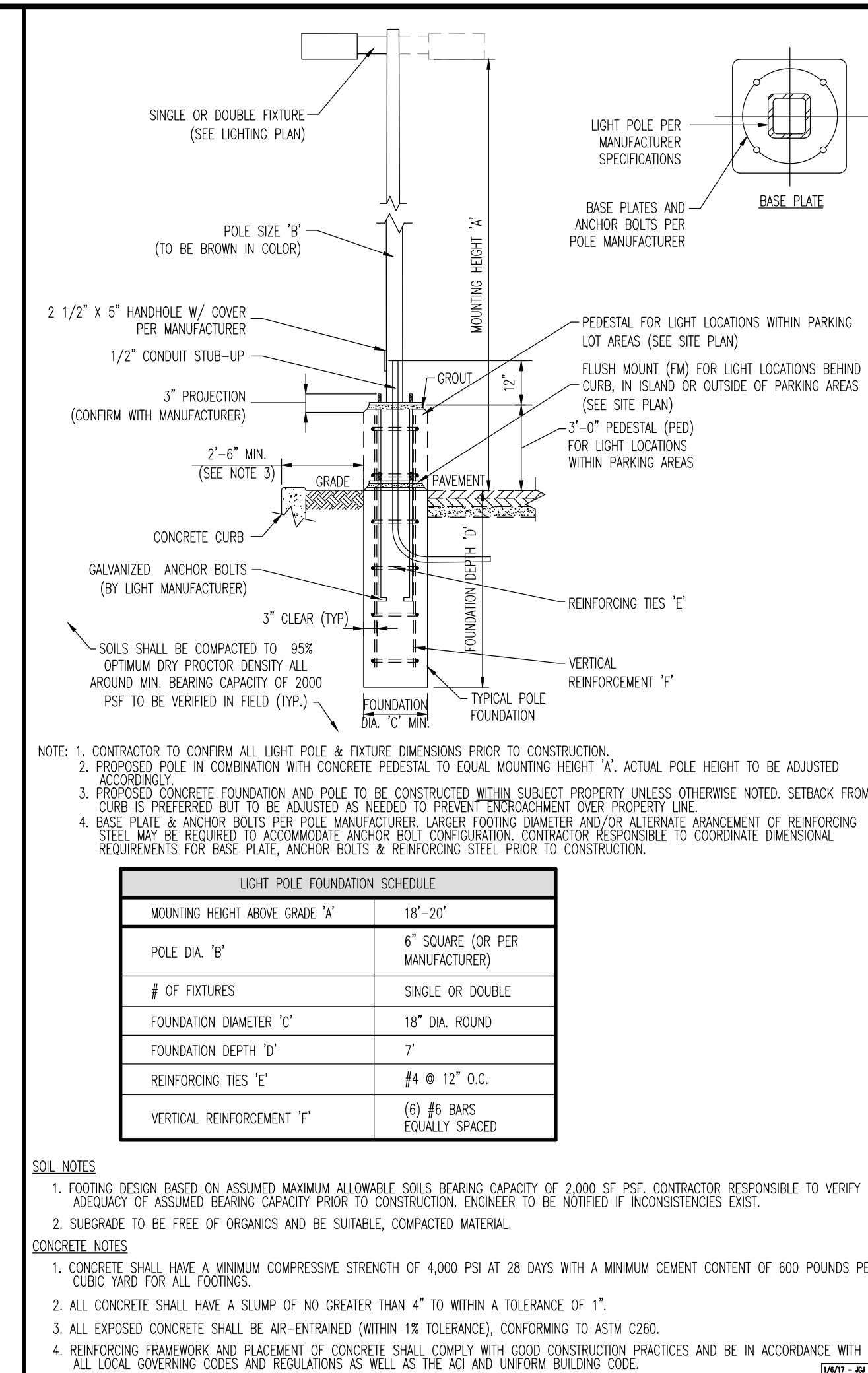
PERENNIAL GROUND COVER/SPACING DETAIL

NOT TO SCALE



MONUMENT SIGN DETAIL

NOT TO SCALE



AREA LIGHT FOUNDATION DETAIL

NOT TO SCALE

Project	Catalog #	Type
Prepared by	Notes	Date

McGraw-Edison GLEON Galleon
Area / Site Luminaire

Typical Applications
Outdoor - Parking Lots - Walkways - Roadways - Building Areas

Product Certifications
ETL, DLC, IES, IP66, CE, RoHS, VESA

Product Features
Luminaire Technology, Energy Efficient, Outdoor Rated, Light Adjustable

Connected Systems
WaveLinx, Enlighted

Quick Facts
Lumen packages range from 4,200 - 80,800 (3AW - 6AW)
Efficacy up to 156 lumens per watt

Dimensional Details

Number of Light Squares	"A" Width	"B" Standard Arm Length	"C" Extended Arm Length	"D" Quick Mount Arm Length	"E" Quick Mount Extended Arm Length
1-4	15-1/2"	7"	10"	10-5/8"	16-9/16"
5-6	21-5/8"	7"	10"	10-5/8"	16-9/16"
7-8	27-5/8"	7"	13"	10-5/8"	--
9-10	33-3/4"	7"	16"	--	--

Notes:
1. For arm selection requirements and additional details, see Mounting Details Section.
2. Dimensions are approximate and subject to change without notice.
3. Dimensions are approximate and subject to change without notice.
4. Dimensions are approximate and subject to change without notice.
5. Dimensions are approximate and subject to change without notice.
6. Dimensions are approximate and subject to change without notice.
7. Dimensions are approximate and subject to change without notice.
8. Dimensions are approximate and subject to change without notice.
9. Dimensions are approximate and subject to change without notice.
10. Dimensions are approximate and subject to change without notice.

Product Family	Light Engine	Color	Voltage	Distribution	Mounting	Finish
GLEON-Galleon	SA1+1 Square SA2+2 Square SA3+3 Square SA4+4 Square SA5+5 Square SA6+6 Square SA8+8 Square SA9+9 Square SA10+10 Square	A=6000K B=8000K C=10000K D=12000K	120-277V 120-277V 120-277V 120-277V 120-277V 120-277V 120-277V 120-277V 120-277V	T3-Type II T3-Type II T3-Type II T3-Type II T3-Type II T3-Type II T3-Type II T3-Type II T3-Type II	EMA-EMA EMA-EMA EMA-EMA EMA-EMA EMA-EMA EMA-EMA EMA-EMA EMA-EMA EMA-EMA	AM-Gray AM-Black AM-Dark Platinum AM-Diaphan Metallic AM-White

Ordering Information
SAMPLE NUMBER: GLEON-SA4C-740-U-T4FT-GM

Options (Add as Suffix)
SMA-External 0-10V Dimming Leads
SMB-120V/277V
SMD-120V/277V
SME-120V/277V
SMF-120V/277V
SMG-120V/277V
SMH-120V/277V
SMI-120V/277V
SMJ-120V/277V
SMK-120V/277V
SML-120V/277V
SMN-120V/277V
SMP-120V/277V
SMQ-120V/277V
SMT-120V/277V
SMU-120V/277V
SMV-120V/277V
SMW-120V/277V
SMX-120V/277V
SMY-120V/277V
SMZ-120V/277V
SMA-120V/277V
SMB-120V/277V
SMD-120V/277V
SME-120V/277V
SMF-120V/277V
SMG-120V/277V
SMH-120V/277V
SMI-120V/277V
SMJ-120V/277V
SMK-120V/277V
SML-120V/277V
SMN-120V/277V
SMP-120V/277V
SMQ-120V/277V
SMT-120V/277V
SMU-120V/277V
SMV-120V/277V
SMW-120V/277V
SMX-120V/277V
SMY-120V/277V
SMZ-120V/277V

Accessories (Order Separately)
DARA116-NEMA Photocentric Multi-Tap
DARA117-NEMA Photocentric
DARA120-NEMA Photocentric
DARA121-NEMA Photocentric
DARA122-NEMA Photocentric
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DARA199-NEMA Photocentric
DARA200-NEMA Photocentric

Notes:
1. Contractor is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our website [www.mcgraw-edison.com](#) for additional information.
2. Single-point mounting is not available for 10'-0" mounting height.
3. Double-point mounting is not available for 10'-0" mounting height.
4. For more information, refer to the McGraw-Edison website.
5. For more information, refer to the McGraw-Edison website.
6. For more information, refer to the McGraw-Edison website.
7. For more information, refer to the McGraw-Edison website.
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9. For more information, refer to the McGraw-Edison website.
10. For more information, refer to the McGraw-Edison website.

Number of Light Squares	Standard Arm @ 90° Apart	Standard Arm @ 120° Apart	Quick Mount Arm @ 90° Apart	Quick Mount Arm @ 120° Apart
1	Standard	Standard	Quick Mount	Quick Mount
2	Standard	Standard	QM Extended	Quick Mount
3	Standard	Standard	QM Extended	Quick Mount
4	Standard	Standard	QM Extended	Quick Mount
5	Extended	Standard	QM Extended	Quick Mount
6	Extended	Standard	QM Extended	Quick Mount
7	Extended	Extended	--	Quick Mount
8	Extended	Extended	--	Quick Mount
9	Extended	Extended	--	--
10	Extended	Extended	--	--

Notes:
1. Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2. Round poles are 3 @ 90°.

VINYL FENCE DETAIL
NOT TO SCALE

Notes:
1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
2. ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
3. ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
4. REINFORCING FRAMEWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES AND REGULATIONS AS WELL AS THE AIA AND UNIFORM BUILDING CODE.